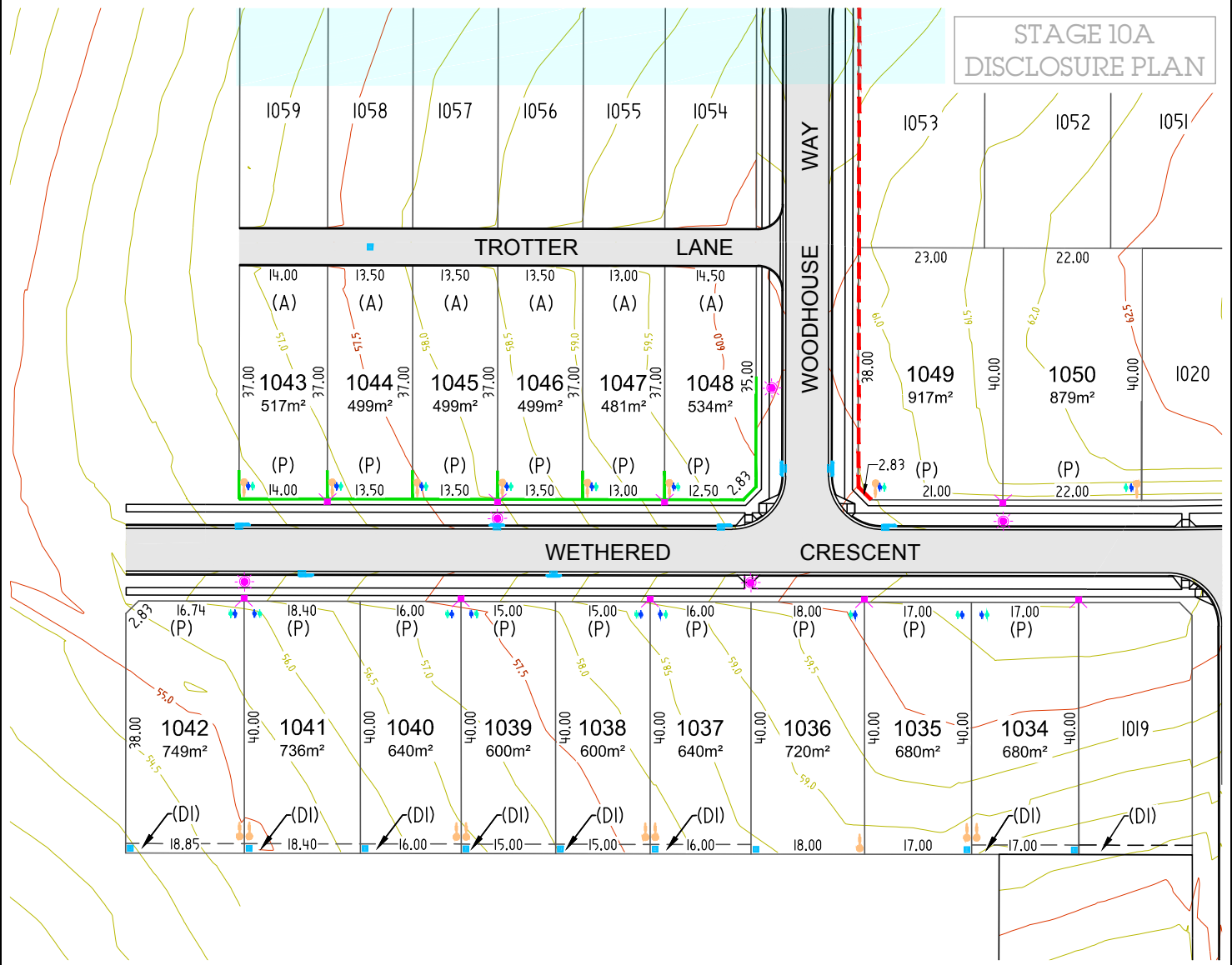




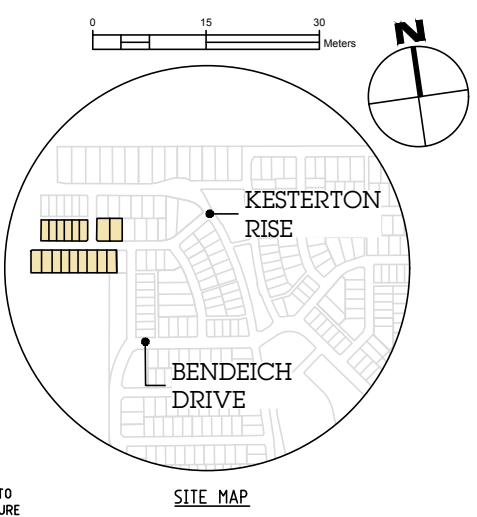
# KATHERINE'S Landing

## STAGE 10A DISCLOSURE PLAN



- NOTES:**
- CONTOURS SHOWN ARE PROPOSED FINISHED SURFACE LEVELS TO THE AUSTRALIAN HEIGHT DATUM (AHD) AT 0.5m INTERVALS.
  - LEVELS AND SERVICE LOCATIONS SHOULD NOT BE RELIED UPON FOR DESIGN PURPOSES AND SHOULD BE CONFIRMED PRIOR TO HOUSE DESIGN.
  - BUILDING ENVELOPE SHOWN IS SPECIFIC TO THE SUBJECT LOT TYPE. LOT TYPES ARE AS FOLLOWS:
 

3.1. COTTAGE LOT TYPE:	LOTS 1043 - 1048
3.2. SMALL TRADITIONAL LOT TYPE:	NOT ON THIS SHEET
3.3. TRADITIONAL LOT TYPE:	LOTS 1034 - 1042, 1049 - 1050
3.4. LARGE TRADITIONAL LOT TYPE:	NOT ON THIS SHEET
3.5. COUNTRY LOT TYPE:	NOT ON THIS SHEET
3.6. MULTI-DWELLING LOT TYPE:	NOT ON THIS SHEET
  - REFER TO THE CESSNOCK DEVELOPMENT CONTROL PLAN (DCP) AND DESIGN GUIDELINES FOR FULL DETAILS OF BUILDING SETBACK REQUIREMENTS RELATING TO EACH LOT TYPE
  - PLEASE REFER TO THE DCP AND/OR DESIGN GUIDELINES FOR SETACK, SITE COVERAGE AND OTHER BUILDING CONTROLS.
  - A 1M ARTICULATION ZONE CAN BE PROVIDED WITHIN FRONT SETBACK.
  - BUSHFIRE RATING MAY ONLY APPLY TO PART OF THE LOT. REFER TO FULL BUSHFIRE REPORT FOR DETAILED ADVICE.
  - COTTAGE LOT FENCING & MAILBOX IS INSTALLED BY HUNTLEE AS PER HUNTLEE DESIGN



- LEGEND**
- (P) PRIMARY FRONTAGE
  - (DI) EASEMENT FOR DRAINAGE OF WATER (15m WIDE)
  - (D2) EASEMENT FOR DRAINAGE OF WATER (3m WIDE)
  - (A) VEHICULAR EASESS
  - (APZ-20) PROPOSED EASEMENT FOR ASSET PROTECTION ZONE (20 WIDE)
  - ELECTRICAL GAS AND NBN
  - HOUSE SERVICE
  - STREET LIGHT
  - STORMWATER PITS
  - WATER METER (DRINKING)
  - WATER METER (RECYCLED)
  - SEWER PIT
  - PROPOSED RETAINING WALL
  - COTTAGE LOT FENCING & MAILBOX (INSTALLED BY HUNTLEE)
- BUSHFIRE RATINGS (BAL)**
- |      |    |    |    |    |
|------|----|----|----|----|
| 12.5 | 19 | 29 | 40 | FZ |
|------|----|----|----|----|



ALL DIMENSIONS AND AREAS ARE SUBJECT TO SURVEY. THE PARTICULARS ON THIS BROCHURE ARE SUPPLIED FOR INFORMATION ONLY AND SHOULD NOT BE TAKEN AS A REPRESENTATION IN ANY RESPECT ON THE PART OF THE VENDOR OR ITS AGENT.

SD	DM	MM	BC	PD
✓	✓	✓	✓	✓

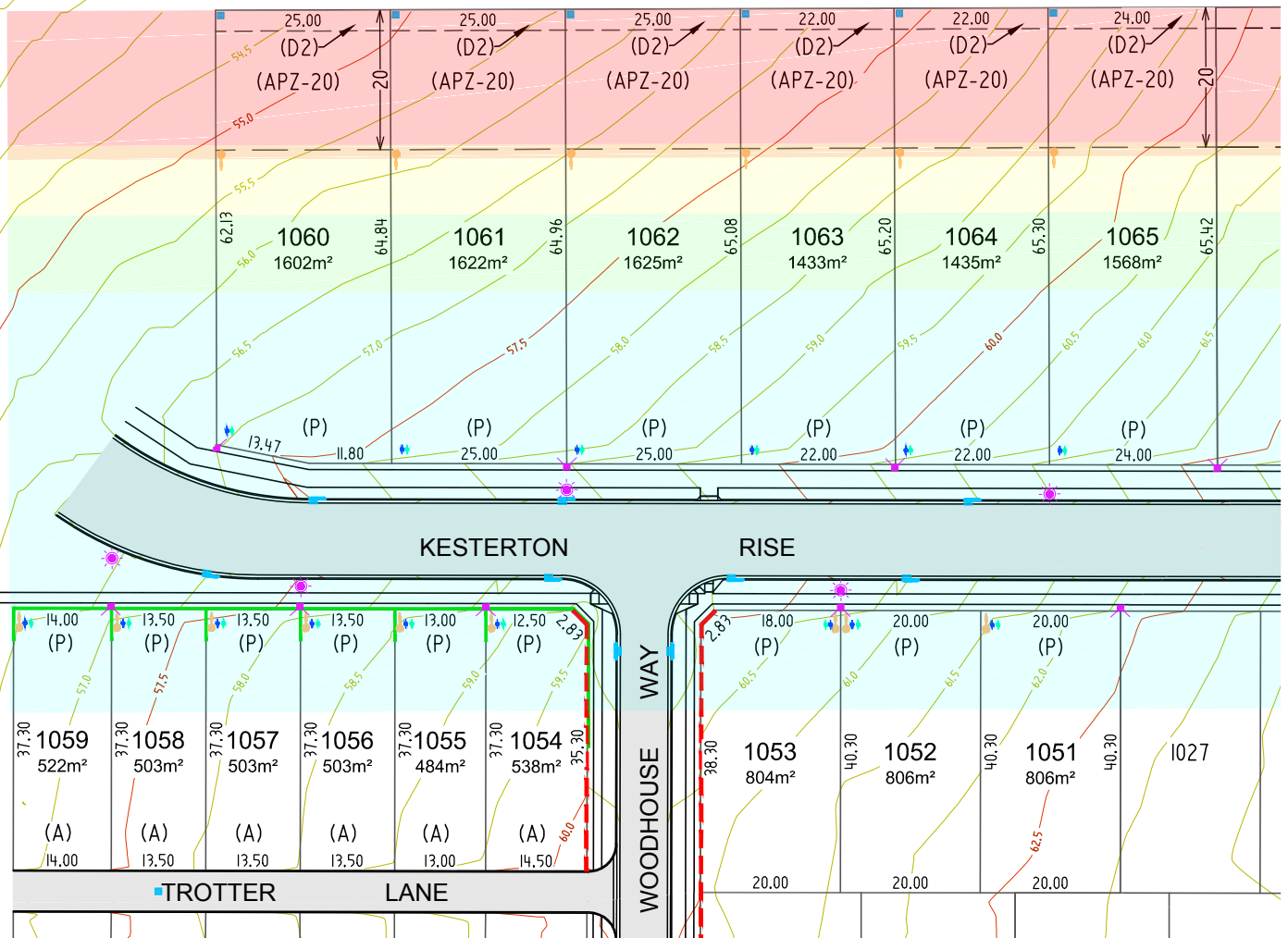




# KATHERINE'S

# Landing

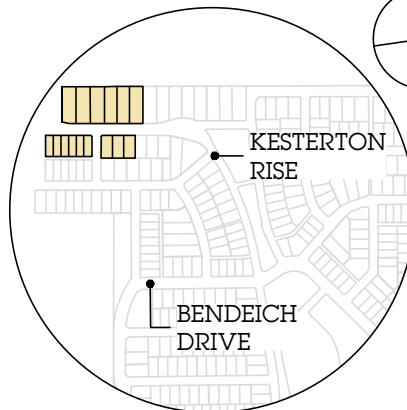
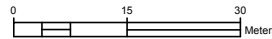
## STAGE 10A DISCLOSURE PLAN



### NOTES:

- CONTOURS SHOWN ARE PROPOSED FINISHED SURFACE LEVELS TO THE AUSTRALIAN HEIGHT DATUM (AHD) AT 0.5m INTERVALS.
- LEVELS AND SERVICE LOCATIONS SHOULD NOT BE RELIED UPON FOR DESIGN PURPOSES AND SHOULD BE CONFIRMED PRIOR TO HOUSE DESIGN.
- BUILDING ENVELOPE SHOWN IS SPECIFIC TO THE SUBJECT LOT TYPE. LOT TYPES ARE AS FOLLOWS:
 

3.1. COTTAGE LOT TYPE:	LOTS 1054 - 1059
3.2. SMALL TRADITIONAL LOT TYPE:	NOT ON THIS SHEET
3.3. TRADITIONAL LOT TYPE:	LOTS 1051 - 1053
3.4. LARGE TRADITIONAL LOT TYPE:	NOT ON THIS SHEET
3.5. COUNTRY LOT TYPE:	LOTS 1060 - 1065
3.6. MULTI-DWELLING LOT TYPE:	NOT ON THIS SHEET
- REFER TO THE CESSNOCK DEVELOPMENT CONTROL PLAN (DCP) AND DESIGN GUIDELINES FOR FULL DETAILS OF BUILDING SETBACK REQUIREMENTS RELATING TO EACH LOT TYPE
- PLEASE REFER TO THE DCP AND/OR DESIGN GUIDELINES FOR SETACK, SITE COVERAGE AND OTHER BUILDING CONTROLS.
- A 1M ARTICULATION ZONE CAN BE PROVIDED WITHIN FRONT SETBACK.
- BUSHFIRE RATING MAY ONLY APPLY TO PART OF THE LOT. REFER TO FULL BUSHFIRE REPORT FOR DETAILED ADVICE.
- COTTAGE LOT FENCING & MAILBOX IS INSTALLED BY HUNTLEE AS PER HUNTLEE DESIGN



SITE MAP

SD	DM	MM	BC	PD
✓	✓	✓	✓	✓

### LEGEND

- (P) PRIMARY FRONTAGE
- (CZ) CHARACTER ZONE
- (D1) EASEMENT FOR DRAINAGE OF WATER (15m WIDE)
- (D2) EASEMENT FOR DRAINAGE OF WATER (3m WIDE)
- (A) VEHICULAR ACCESS
- (NVA) NO VEHICULAR ACCESS
- (APZ-20) PROPOSED EASEMENT FOR ASSET PROTECTION ZONE (20 WIDE)
- ELECTRICAL, GAS AND NBN
- HOUSE SERVICE
- STREET LIGHT
- STORMWATER PITS
- WATER METER (DRINKING)
- WATER METER (RECYCLED)
- SEWER FIT
- PROPOSED RETAINING WALL
- COTTAGE LOT FENCING & MAILBOX (INSTALLED BY HUNTLEE)

### BUSHFIRE RATINGS (BAL)

12.5	19	29	40	FZ
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