

The Bayswater

COLLECTION



BELLRIVER



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Our most popular single storey homes.

Many of these designs have been specifically designed to suit 12.5m allotments, some where one side is on the boundary line. Others suit a 13.2m allotment where both sides are 900mm off the boundary or 14.5m wide lots that are shallow in depth. All the designs are new and packed with modern features. Most include multiple living spaces including media rooms and large, workable kitchens with walk in pantries. All have living areas that flow out onto an oversized alfresco.

BOOK A FREE DESIGN CONSULTATION TODAY

The Bayswater is just one collection in over 120 new designs to choose from.

Discover how enjoyable building a new home can be, book in for your free design consultation today: freedesignservice@bellriverhomes.com.au



**GUARANTEED
BUILD TIME**



**HIGH
SPEC
INCLUSIONS**



**OVER
120
DESIGNS**

FACADE UPGRADE.

WITH OUR COMPLIMENTS

To celebrate this new design collection, we are offering a FREE facade upgrade on every urban single or double storey home.

So for a limited time, the Argenta facade is being offered as a complementary upgrade - completely free of charge.

The Argenta facade is full face brick and includes a brick post and awning windows. Or if you prefer, render is also available for an additional fee.

Other facade options available at an additional cost include: Piermont, Barcelona, Moderno, Contemporary, Sorrento, Noosa, Broadwater, Cambridge, Cambridge Premium, Milan, Portino and Preston.

Note: Artists impressions may show options including (but not limited to) additional lighting, timber windows and garage doors, tile roofs, stack stone or tiled columns, render, upgraded entry doors, landscaping, paths and fencing. These items are available POA. Please read in conjunction with the Bellriver standard inclusions list.

ARGENTA

**FACADE
UPGRADE**
with our
compliments



BARCELONA



BROADWATER



CAMBRIDGE



CAMBRIDGE PREMIUM



CONTEMPORARY



MILAN



MODERNO



NOOSA



PIERMONT



PORTINO



PRESTON

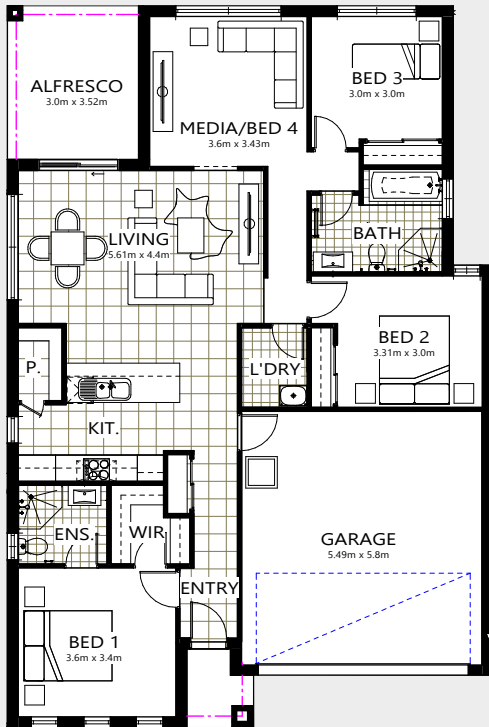


SORRENTO



BAYSWATER 197

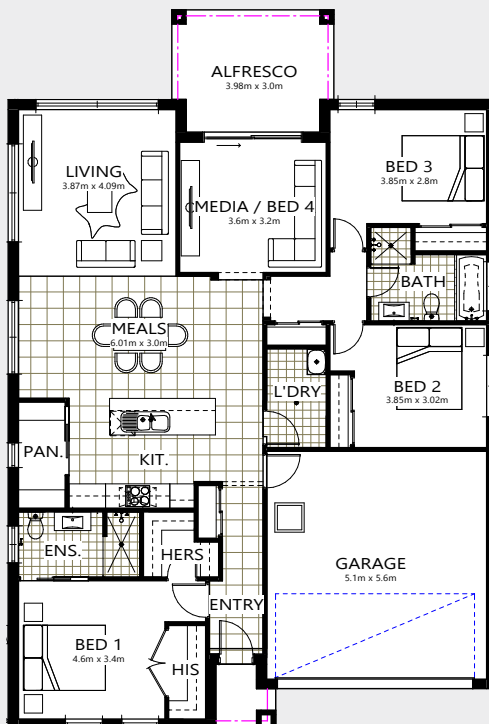
4 2 2



Total under-roof area:	196.83m²
Total home width	11.10m
Total home length	16.50m
To suit minimum block size	12.5m x 25m
Living	123.32m ²
Garage	34.86m ²
Porch / Alfresco / Eaves	38.65m ²

BAYSWATER 216

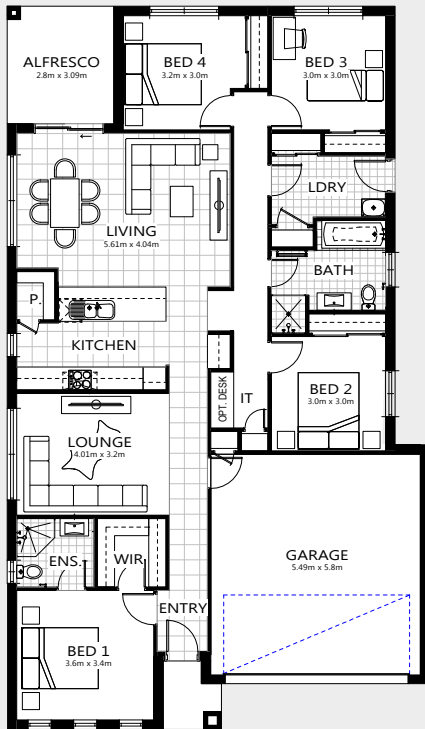
4 2 2



Total under-roof area:	216.48m²
Total home width	12.0m
Total home length	17.67m
To suit minimum block size	13.8m x 26.2m
Living	142.43m ²
Garage	33.09m ²
Porch / Alfresco / Eaves	40.96m ²

BAYSWATER 222

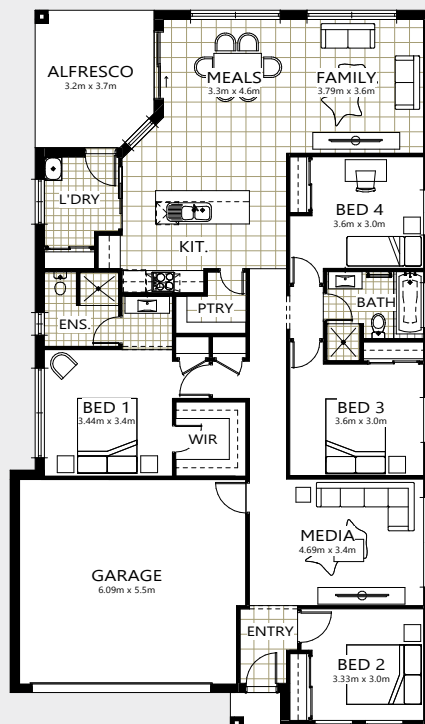
4 2 2



Total under-roof area:	221.75m²
Total home width	11.10m
Total home length	19.0m
To suit minimum block size	12.5m x 27.5m
Living	147.06m ²
Garage	35.09m ²
Porch / Alfresco / Eaves	39.61m ²

BAYSWATER 229

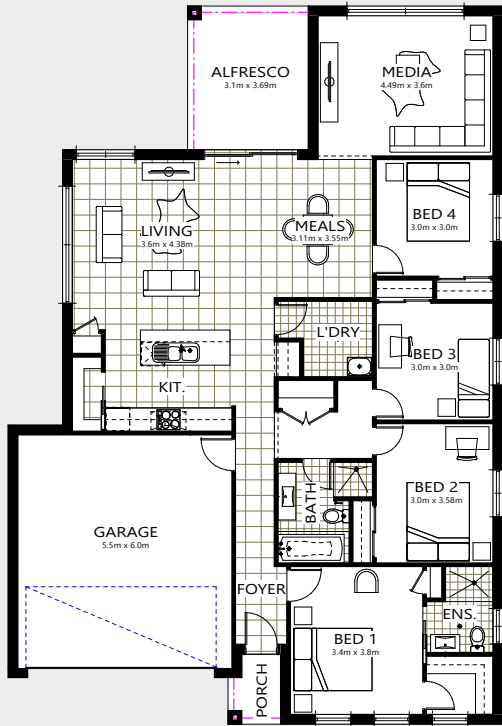
4 2 2



Total under-roof area:	228.60m²
Total home width	11.37m
Total home length	19.35m
To suit minimum block size	12.5m x 27.9m
Living	156.58m ²
Garage	36.46m ²
Porch / Alfresco / Eaves	35.56m ²

BAYSWATER 230

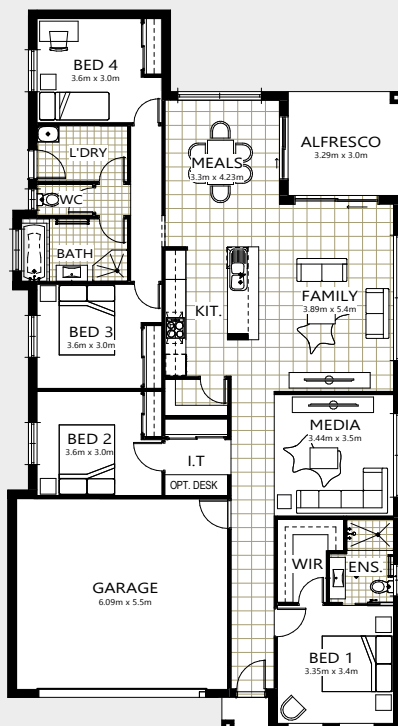
4 2 2



Total under-roof area:	230.15m²
Total home width	12.70m
Total home length	18.44m
To suit minimum block size	14.5m x 27m
Living	150.44m ²
Garage	37.05m ²
Porch / Alfresco / Eaves	42.66m ²

BAYSWATER 231

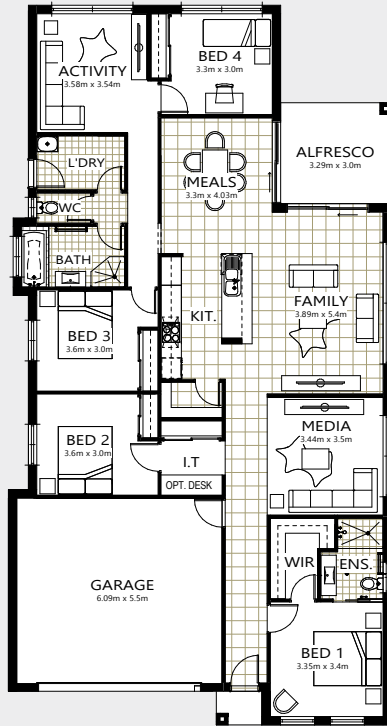
4 2 2



Total under-roof area:	230.74m²
Total home width	11.37m
Total home length	20.82m
To suit minimum block size	12.5m x 30m
Living	159.58m ²
Garage	36.48m ²
Porch / Alfresco / Eaves	34.68m ²

BAYSWATER 243

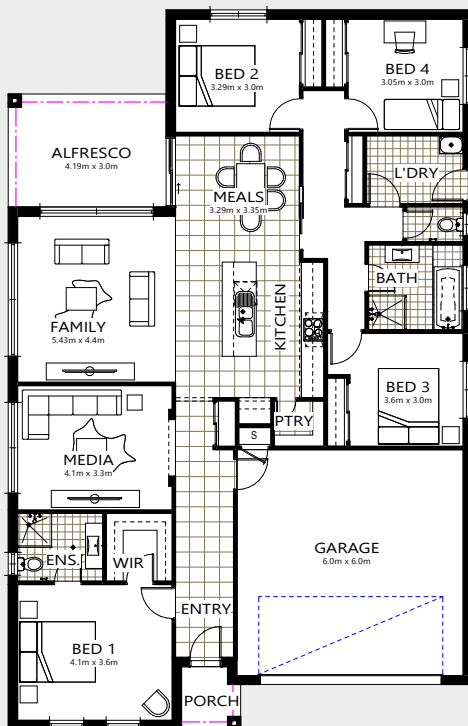
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Total under-roof area:	243.23m²
Total home width	11.37m
Total home length	21.36m
To suit minimum block size	12.5m x 29.9m
Living	172.04m ²
Garage	36.48m ²
Porch / Alfresco / Eaves	34.72m ²

BAYSWATER 248

4 2 2



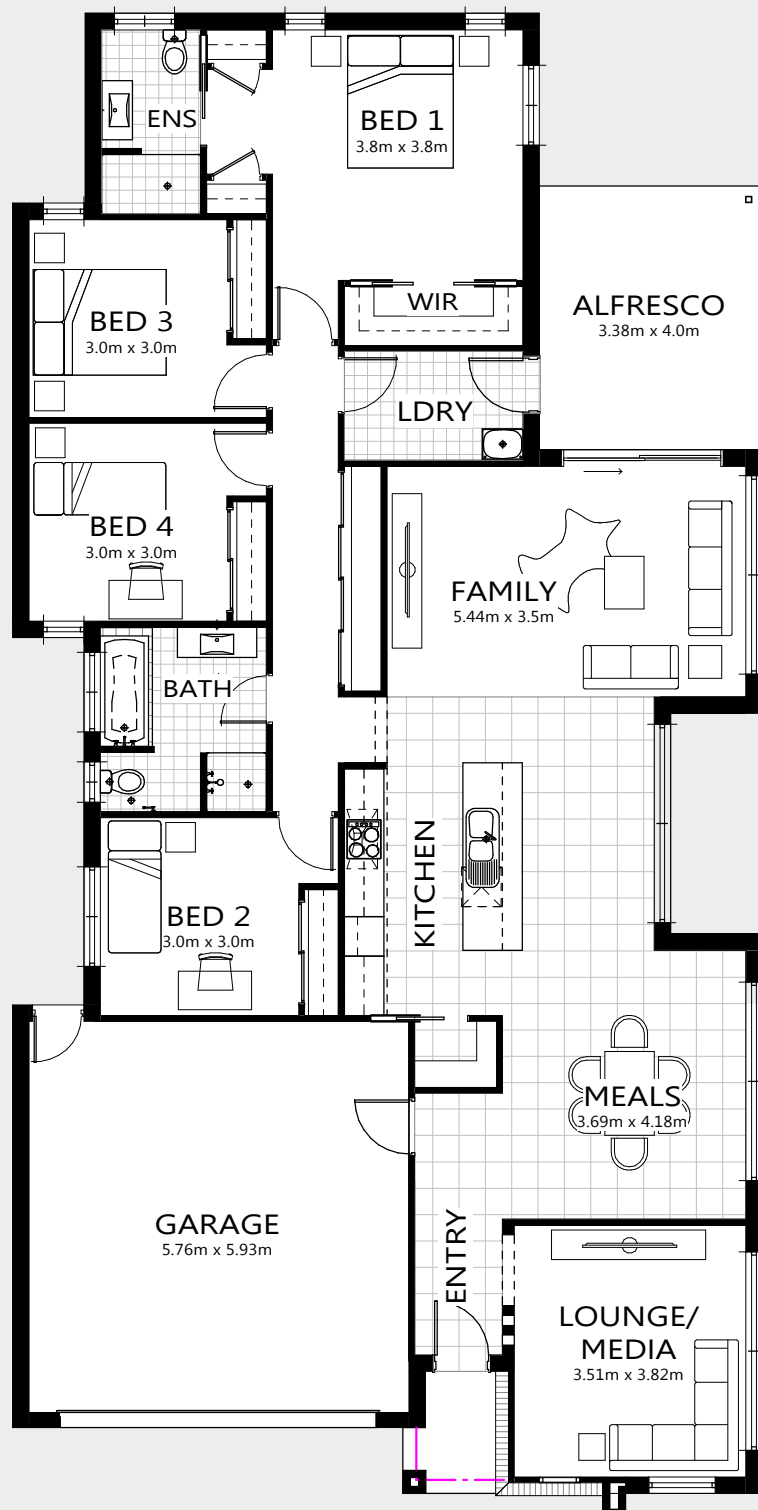
Total under-roof area:	247.56m²
Total home width	12.32m
Total home length	19.1m
To suit minimum block size	14.2m x 27.6m
Living	164.33m ²
Garage	39.06m ²
Porch / Alfresco / Eaves	44.18m ²

BAYSWATER 250

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2

2

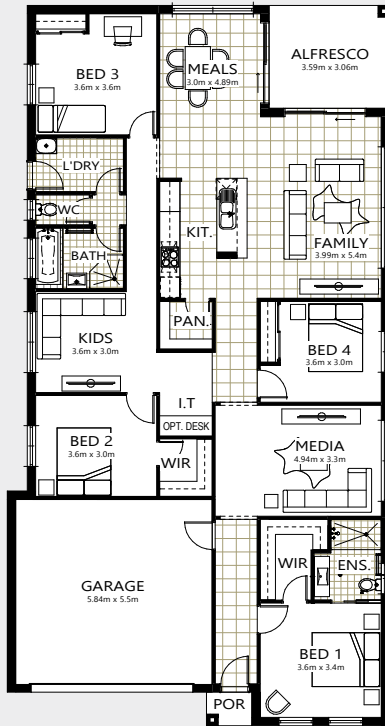


*Exceeds 10.0m max. zero boundary length requirement for complying development approval under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

Total under-roof area:	250.03m²
Total home width	11.37m
Total home length	22.45m
To suit minimum block size	12.5m* x 31.0m
Living	173.14m ²
Garage	37.51m ²
Porch / Alfresco / Eaves	39.39m ²

BAYSWATER 254

4 2 2



Total under-roof area:	253.81m²
Total home width	11.37m
Total home length	21.42m
To suit minimum block size	12.5m x 30.0m
Living	181.73m ²
Garage	35.04m ²
Porch / Alfresco / Eaves	37.04m ²

BAYSWATER 260

4 2 2

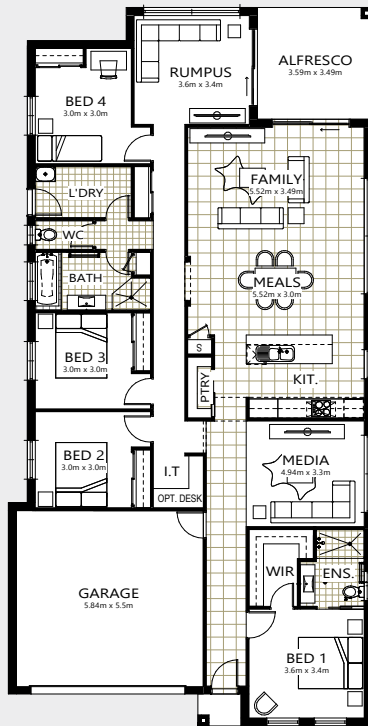


Total under-roof area:	260.08m²
Total home width	11.37m
Total home length	22.45m
To suit minimum block size	12.5*m x 31m
Living	171.48m ²
Garage	37.53m ²
Porch / Alfresco / Eaves	51.07m ²

*Exceeds 10.0m max. zero boundary length requirement for complying development approval under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

BAYSWATER 263

4 2 2



Total under-roof area:	262.65m²
Total home width	11.37m
Total home length	22.45m
To suit minimum block size	12.5m x 31.0m
Living	188.10m ²
Garage	35.04m ²
Porch / Alfresco / Eaves	39.51m ²

BAYSWATER 272

4 2 2



Total under-roof area:	272.41m²
Total home width	11.37m
Total home length	24.85m
To suit minimum block size	12.5m* x 35.6m
Living	189.68m ²
Garage	37.51m ²
Porch / Alfresco / Eaves	45.23m ²

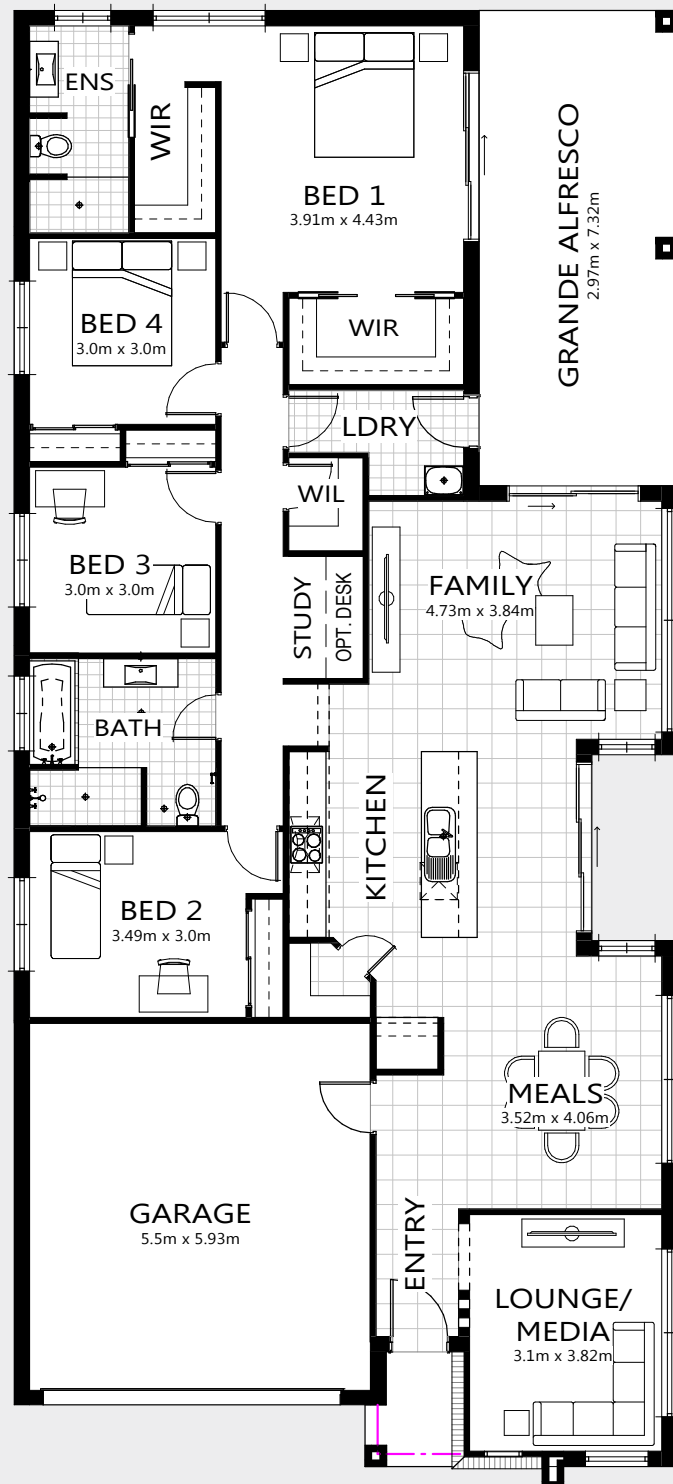
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BAYSWATER 274

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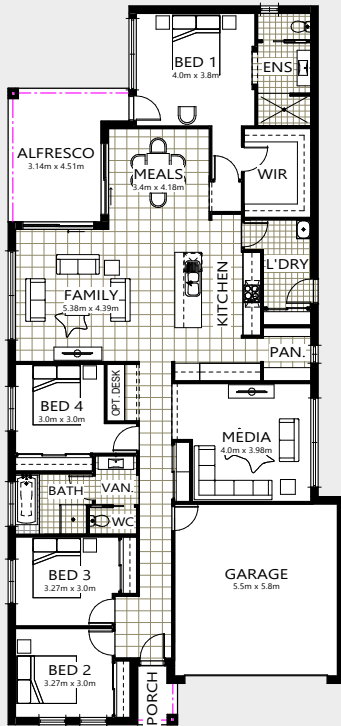
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Total under-roof area:	274.48m²
Total home width	11.37m
Total home length	22.45m
To suit minimum block size	12.5m x 32.0m
Living	179.10m ²
Garage	35.63m ²
Porch / Alfresco / Eaves	59.75m ²

BAYSWATER 275

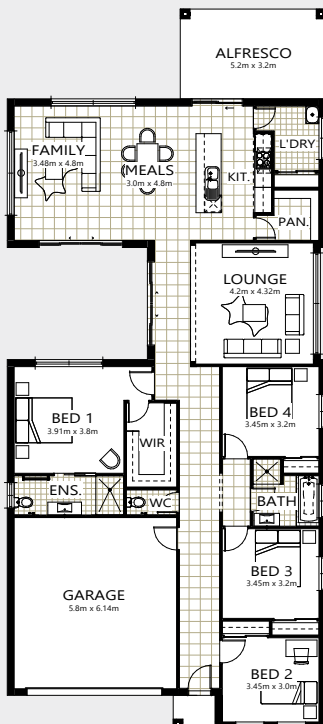
4  2  2 



Total under-roof area:	274.69m²
Total home width	11.37m
Total home length	24.27m
To suit minimum block size	13.2m x 32.8m
Living	188.44m ²
Garage	35.67m ²
Porch / Alfresco / Eaves	50.58m ²

BAYSWATER 284

4  2  2 



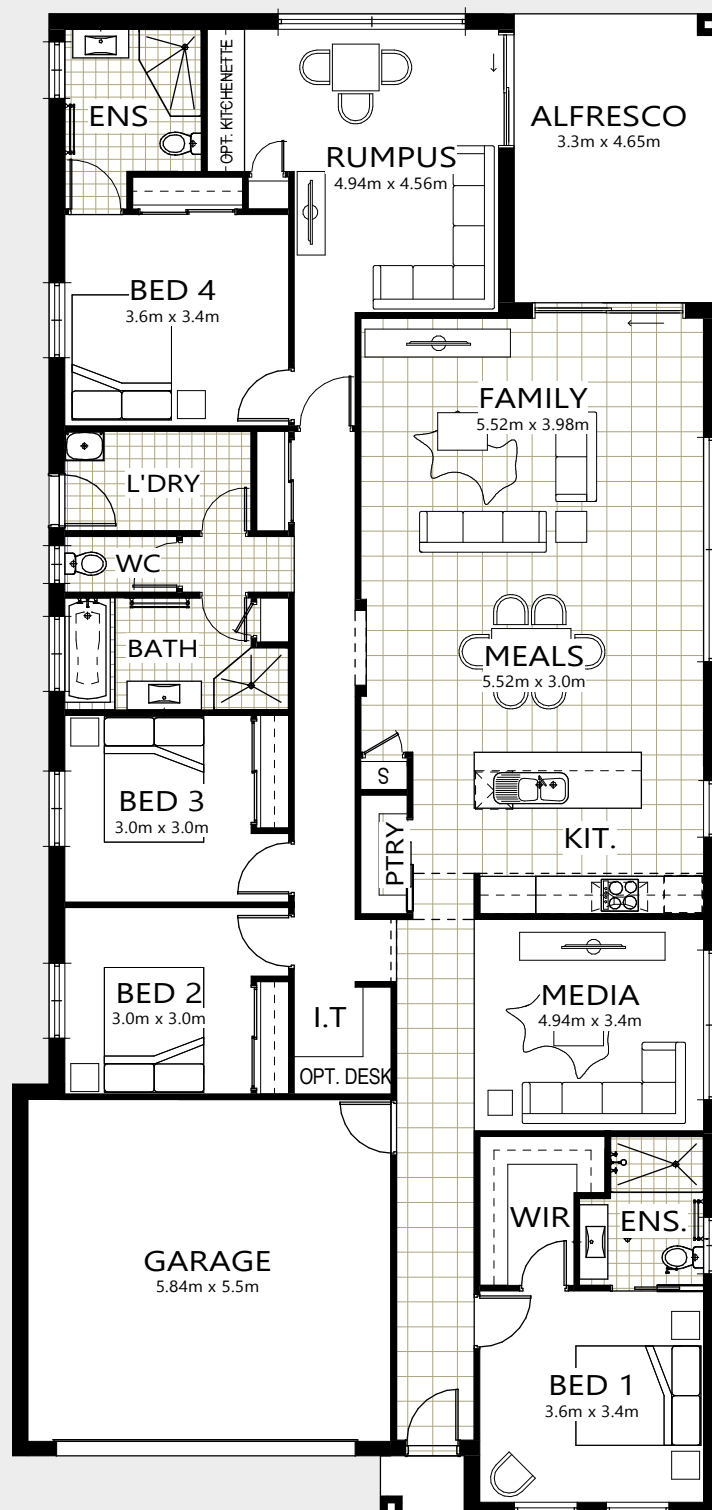
Total under-roof area:	283.67m²
Total home width	11.37m
Total home length	25.67m
To suit minimum block size	13.5m x 34.2m
Living	187.42m ²
Garage	38.36m ²
Porch / Alfresco / Eaves	57.89m ²

BAYSWATER 286 XTRA-GEN

4

2

2



Total under-roof area:	286.23m²
Total home width	11.37m
Total home length	24.2m
To suit minimum block size	12.5m x 33m
Living	207.34m ²
Garage	35.04m ²
Porch / Alfresco / Eaves	43.90m ²



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OUR COPYRIGHT POLICY During our time in business we have spent many hundreds of thousands of dollars designing and improving our house designs so that they remain stylish, innovative and cost effective. Hence the reason our designs are protected by Copyright. Whilst we are happy to modify our designs to suit your needs, the Copyright of the plan (in its standard or modified state) always remains with us and cannot be legally quoted by other builders; regardless of how many changes have been made. We take any breach of copyright very seriously and will have no hesitation in taking legal action in the event of our Copyright being breached.

Facades will vary in their application to each home. The roof line, house width, ceiling height etc. will all affect the final look. In some instances, the floor plan will have to be adjusted to suit the façade. In some instances a higher ceiling will need to be added to make the façade work. For an accurate interpretation, it is important to view the façade on the fully detailed house plans that will come with your new home tender. All artists renderings shown are an impression only.