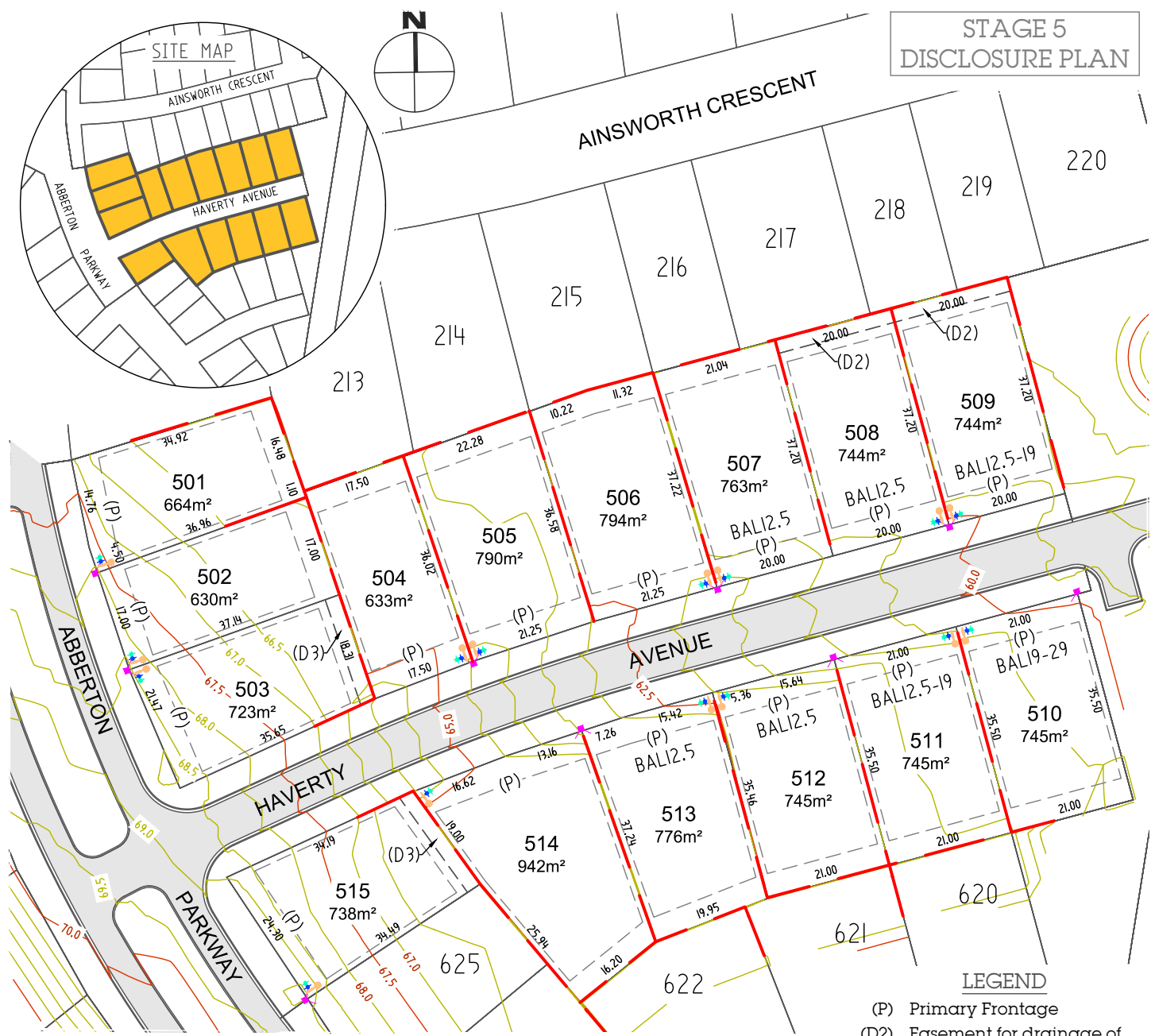
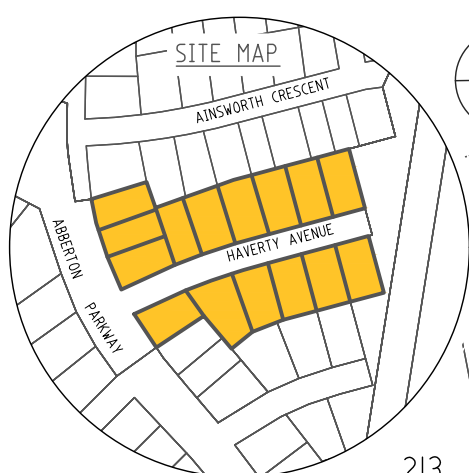




Katherine's Landing

STAGE 5
DISCLOSURE PLAN



LEGEND

- (P) Primary Frontage
- (D2) Easement for drainage of water 2.3 wide
- (D3) Easement for drainage of water 2.5 wide
- BAL Bushfire Rating
- ELECTRICAL, GAS AND NBN HOUSE SERVICE
- STREET LIGHT
- STORMWATER PITS
- WATER METER (DRINKING)
- WATER METER (RECYCLED)
- SEWER PIT
- BUILDING ENVELOPE
- PROPOSED RETAINING WALL

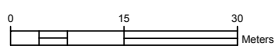
Minimum Setback Distances (based on a single storey house on a traditional lot)

- (i) Front boundary setback 4.5m
- (ii) Side boundary setback 1.0m
- (iii) Rear boundary setback 4.0m
- (iv) Corner lot secondary street boundary setback 1.0m

Important Building Envelope Notes;

- (i) Refer to DCP & Design guidelines for full details of building setback requirements.
- (ii) The building envelope should not be interpreted as the allowable site coverage for the lot, site coverage is to be as per the DCP and Design Guidelines.
- (iii) The setback on the high side of retaining walls can be reduced to zero for a 17m maximum continuous length if the developer provided retaining walls are replaced with a drop edge beam on the house slab. (cottage lots only)
- (iv) 1m Articulation Zone can be provided within front setback.
- (v) Bushfire rating may only apply to part of the lot. Refer to full bushfire report for detailed advice.

All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and should not be taken as a representation in any respect on the part of the vendor or its agent.



CONTOURS ARE PROPOSED FINISHED SURFACE RL'S TO AUSTRALIAN HEIGHT DATUM (AHD) AT 0.5m INTERVALS



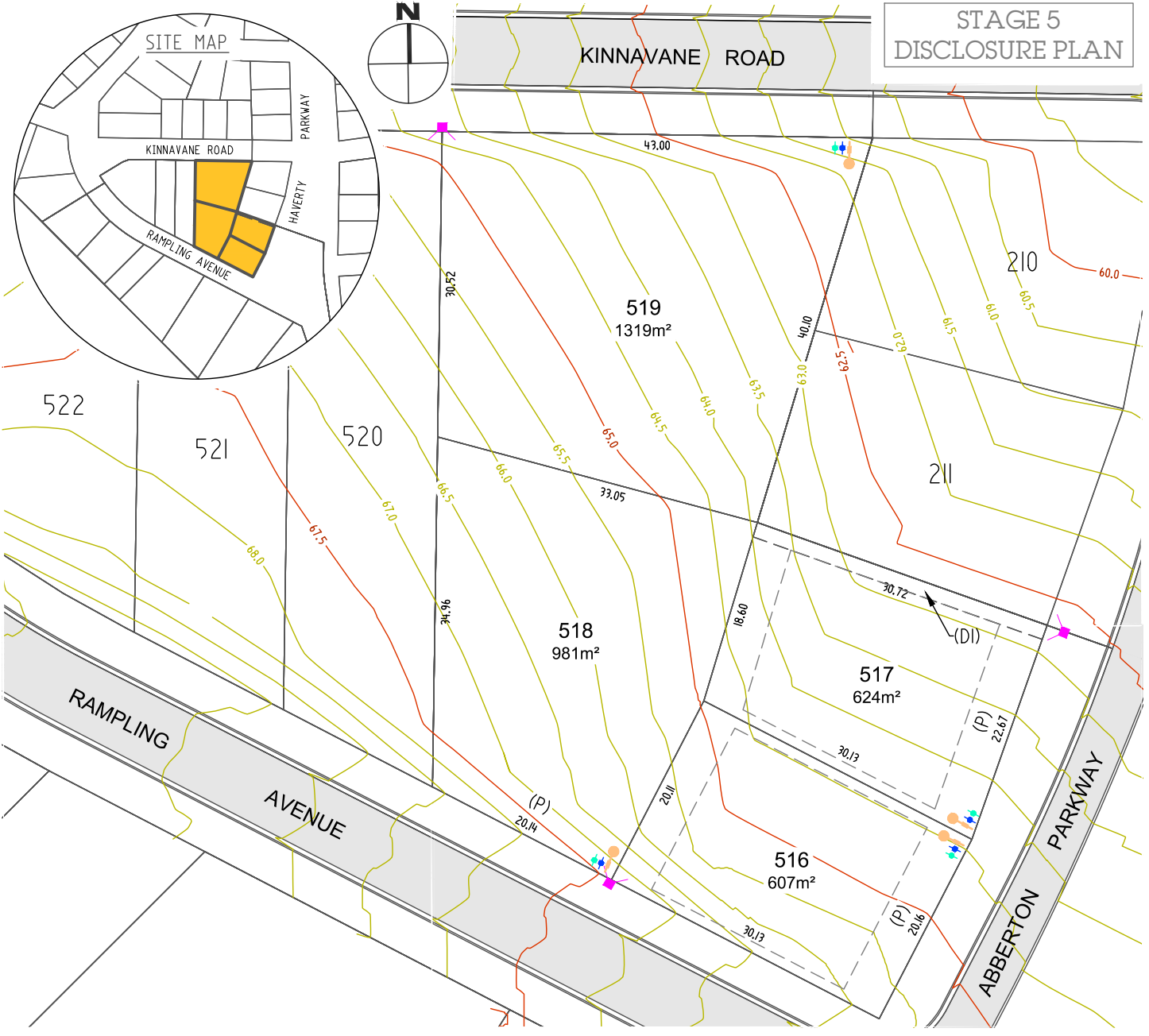
12/04/2016





Katherine's Landing

STAGE 5 DISCLOSURE PLAN



Minimum Setback Distances (based on a single storey house on a traditional lot)

- (i) Front boundary setback 4.5m
- (ii) Side boundary setback 1.0m
- (iii) Rear boundary setback 4.0m
- (iv) Corner lot secondary street boundary setback 1.0m

Important Building Envelope Notes;

- (i) Refer to DCP & Design guidelines for full details of building setback requirements.
- (ii) The building envelope should not be interpreted as the allowable site coverage for the lot, site coverage is to be as per the DCP and Design Guidelines.
- (iii) The setback on the high side of retaining walls can be reduced to zero for a 17m maximum continuous length if the developer provided retaining walls are replaced with a drop edge beam on the house slab. (cottage lots only)
- (iv) 1m Articulation Zone can be provided within front setback.

Special guidelines apply to lots 518 and 519. Contact the sales office for more information.

LEGEND

- (P) Primary Frontage
- (DI) Easement for drainage of water 1.5 wide
- ELECTRICAL, GAS AND NBN HOUSE SERVICE
- STREET LIGHT
- STORMWATER PITS
- WATER METER (DRINKING)
- WATER METER (RECYCLED)
- SEWER PIT
- BUILDING ENVELOPE



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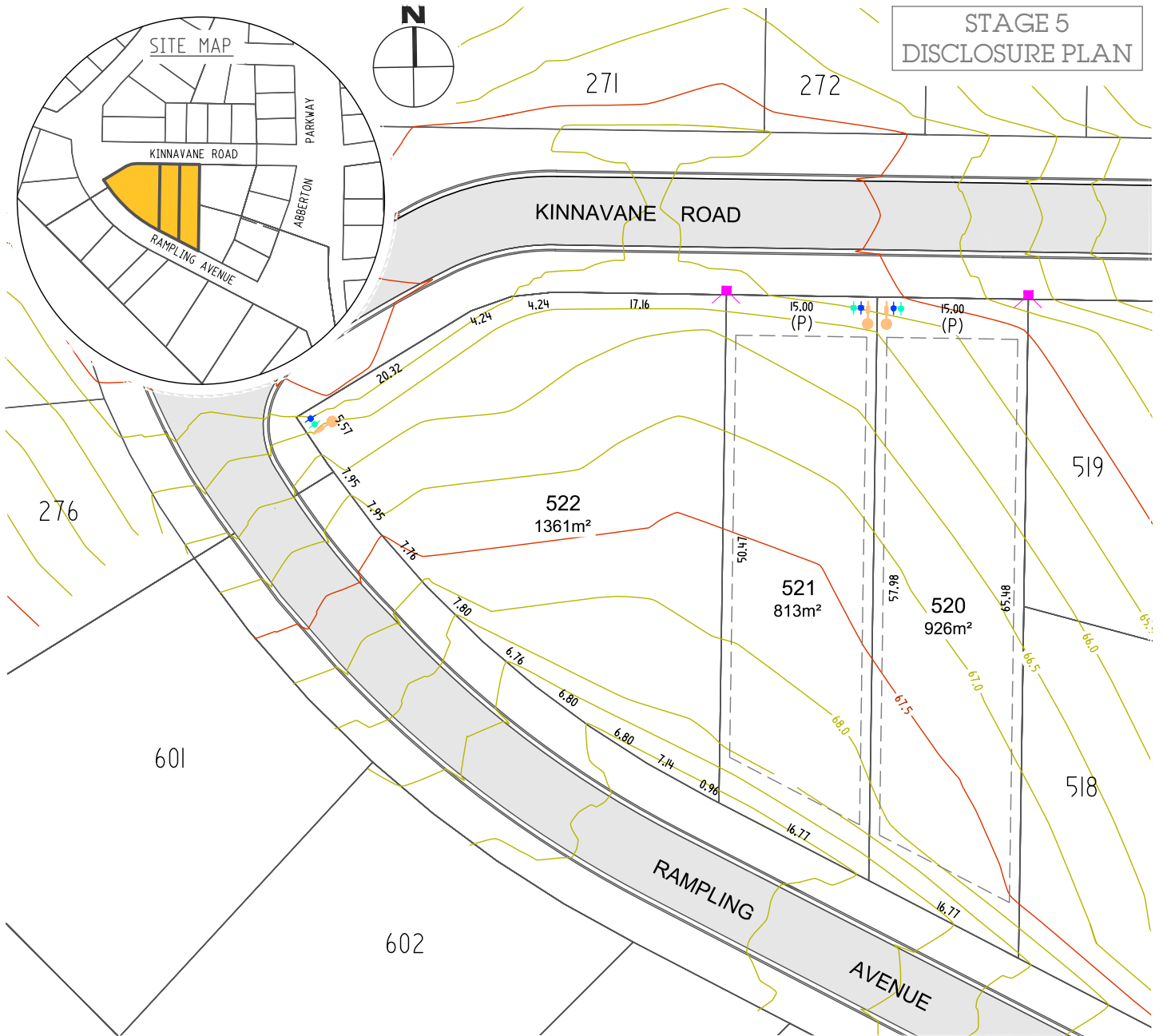
CONTOURS ARE PROPOSED FINISHED SURFACE RL'S TO AUSTRALIAN HEIGHT DATUM (AHD) AT 0.5m INTERVALS





Katherine's Landing

STAGE 5 DISCLOSURE PLAN



Minimum Setback Distances (based on a single storey house on a traditional lot)

- (i) Front boundary setback 4.5m
- (ii) Side boundary setback 1.0m
- (iii) Rear boundary setback 4.0m
- (iv) Corner lot secondary street boundary setback 1.0m

Important Building Envelope Notes;

- (i) Refer to DCP & Design guidelines for full details of building setback requirements.
- (ii) The building envelope should not be interpreted as the allowable site coverage for the lot, site coverage is to be as per the DCP and Design Guidelines.
- (iii) The setback on the high side of retaining walls can be reduced to zero for a 17m maximum continuous length if the developer provided retaining walls are replaced with a drop edge beam on the house slab. (cottage lots only)
- (iv) 1m Articulation Zone can be provided within front setback.

Special guidelines apply to lot 522.
Contact the sales office for more information.

LEGEND

- (P) Primary Frontage
- ELECTRICAL, GAS AND NBN HOUSE SERVICE
- STREET LIGHT
- STORMWATER PITS
- WATER METER (DRINKING)
- WATER METER (RECYCLED)
- SEWER PIT
- BUILDING ENVELOPE



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CONTOURS ARE PROPOSED FINISHED SURFACE RL'S TO AUSTRALIAN HEIGHT DATUM (AHD) AT 0.5m INTERVALS

