

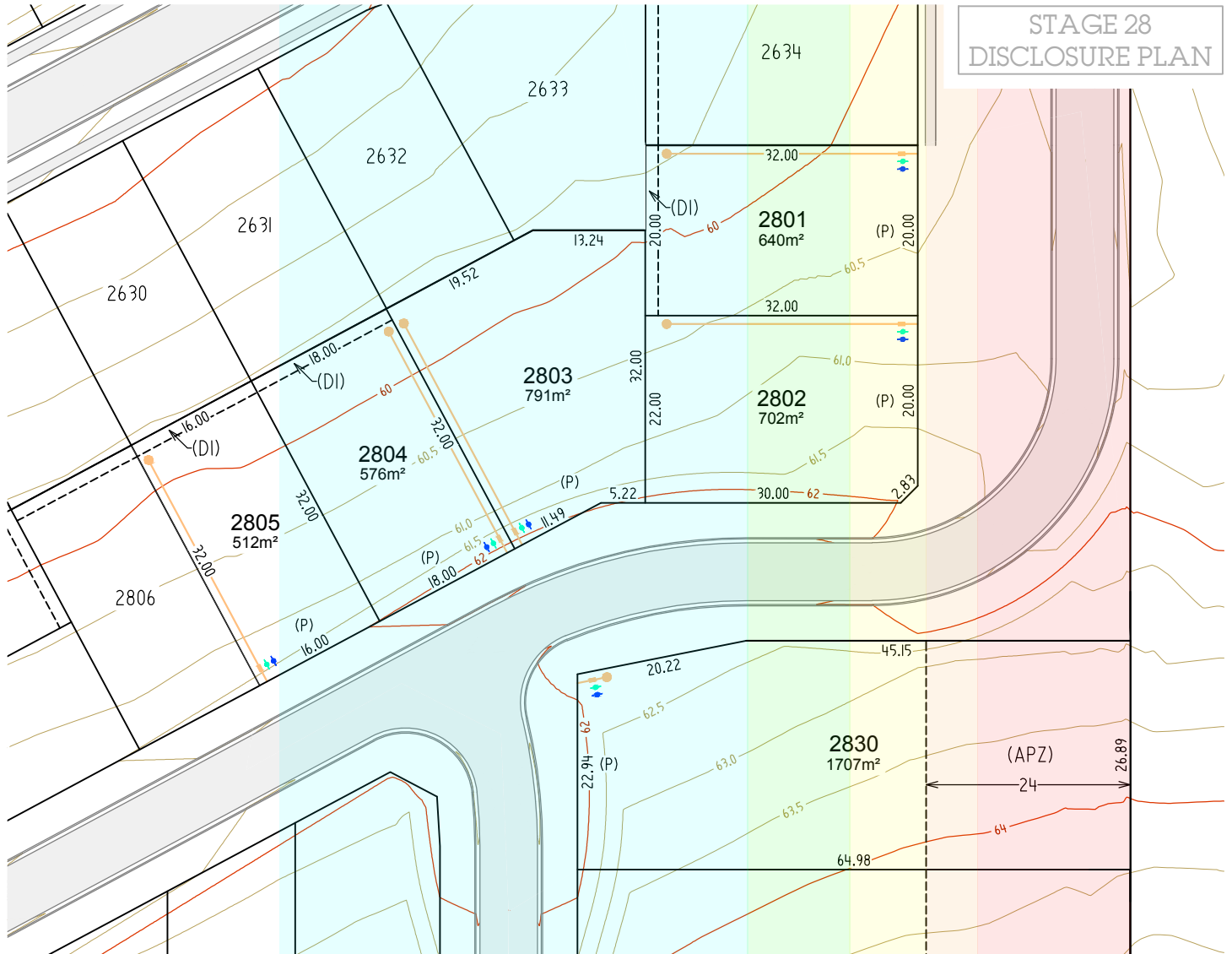
# Disclosure plans disclaimer

- This plan and the information and diagrams accompanying it ("Information") have been prepared for marketing purposes only.
- All descriptions, dimensions, depictions and other details in this plan may not be to scale.
- The Information may vary from the actual dimensions, layout and characteristics of the lot as completed or registered.
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- The vendor, its associates and agents make no representations, warranties, promises or otherwise as to the accuracy, reliability, currency or completeness of the Information or that it is representative of the Katherine's Landing Project whether in whole or in part, once completed.
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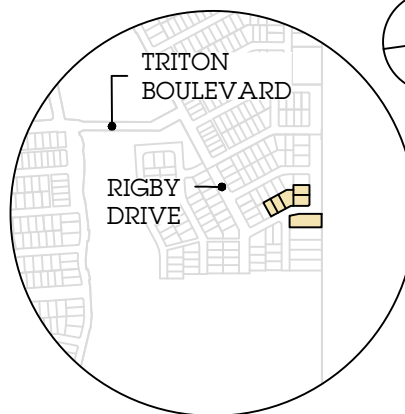
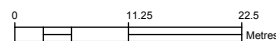
# KATHERINE'S Landing

## STAGE 28 DISCLOSURE PLAN



### NOTES:

1. CONTOURS SHOWN ARE PROPOSED FINISHED SURFACE LEVELS TO THE AUSTRALIAN HEIGHT DATUM (AHD) AT 0.5m INTERVALS.
2. LEVELS AND SERVICE LOCATIONS SHOULD NOT BE RELIED UPON FOR DESIGN PURPOSES AND SHOULD BE CONFIRMED PRIOR TO HOUSE DESIGN.
3. LOT TYPES ARE AS FOLLOWS:
  - 3.1. COTTAGE LOT TYPE: NOT ON THIS SHEET
  - 3.2. SMALL TRADITIONAL LOT TYPE: NOT ON THIS SHEET
  - 3.3. TRADITIONAL LOT TYPE: LOTS 2801, 2804-2805
  - 3.4. LARGE TRADITIONAL LOT TYPE: LOTS 2802-2803
  - 3.5. COUNTRY LOT TYPE: LOT 2830
  - 3.6. MULTI-DWELLING LOT TYPE: NOT ON THIS SHEET
4. REFER TO THE CESSNOCK DEVELOPMENT CONTROL PLAN (DCP) AND DESIGN GUIDELINES FOR FULL DETAILS OF BUILDING SETBACK REQUIREMENTS RELATING TO EACH LOT TYPE
5. PLEASE REFER TO THE DCP AND/OR DESIGN GUIDELINES FOR SETBACK, SITE COVERAGE AND OTHER BUILDING CONTROLS.
6. A 1M ARTICULATION ZONE CAN BE PROVIDED WITHIN FRONT SETBACK.
7. FINAL BUSHFIRE REQUIREMENTS AND BAL RATING SHOULD BE DISCUSSED WITH THE BUILDER. COUNCIL DA MAY REQUIRE A LOT SPECIFIC BUSHFIRE REPORT TO BE PREPARED BY THE OWNER TO CONFIRM THE APPLICABLE BAL RATING FOR THE DWELLING.
8. COTTAGE LOT FENCING & MAILBOX IS INSTALLED BY HUNTLEE AS PER HUNTLEE DESIGN.
9. COUNTRY LOT OPEN STYLE FENCING EXTENDS BACK ALONG SIDE BOUNDARIES 6m TO JOIN 1.8m HIGH BOUNDARY FENCING BY HUNTLEE.



SITE MAP

### LEGEND

- (APZ) ASSET PROTECTION ZONE (24m WIDE)  
(DI) EASEMENT FOR DRAINAGE OF WATER (15m WIDE)  
(P) PRIMARY FRONTAGE  
(CZ) CHARACTER ZONE  
NO VEHICULAR ACCESS  
ELECTRICAL, GAS AND NBN HOUSE SERVICE  
STREET LIGHT  
STORMWATER PITS  
WATER METER (DRINKING)  
WATER METER (RECYCLED)  
SEWER PIT  
PROPOSED RETAINING WALL

### BUSHFIRE RATINGS (BAL)

12.5	19	29	40	FZ
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EXPERIENCE YOU CAN TRUST

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SD	DM	MM	BC	PD
✓	✓	✓	✓	✓

# Huntlee

# KATHERINE'S Landing

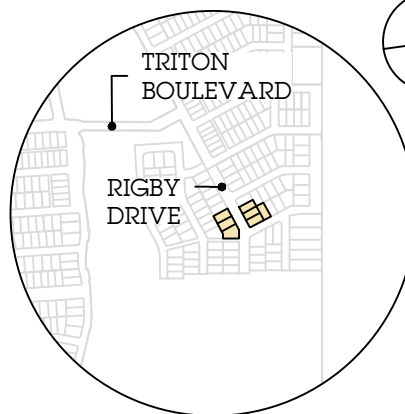
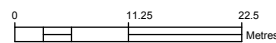
## STAGE 28 DISCLOSURE PLAN



### NOTES:

1. CONTOURS SHOWN ARE PROPOSED FINISHED SURFACE LEVELS TO THE AUSTRALIAN HEIGHT DATUM (AHD) AT 0.5m INTERVALS.
2. LEVELS AND SERVICE LOCATIONS SHOULD NOT BE RELIED UPON FOR DESIGN PURPOSES AND SHOULD BE CONFIRMED PRIOR TO HOUSE DESIGN.
3. LOT TYPES ARE AS FOLLOWS:
 

3.1. COTTAGE LOT TYPE:	NOT ON THIS SHEET
3.2. SMALL TRADITIONAL LOT TYPE:	LOTS 2808-2809
3.3. TRADITIONAL LOT TYPE:	LOTS 2806-2807, 2810-2811
3.4. LARGE TRADITIONAL LOT TYPE:	LOT 2812
3.5. COUNTRY LOT TYPE:	NOT ON THIS SHEET
3.6. MULTI-DWELLING LOT TYPE:	NOT ON THIS SHEET
4. REFER TO THE CESSNOCK DEVELOPMENT CONTROL PLAN (DCP) AND DESIGN GUIDELINES FOR FULL DETAILS OF BUILDING SETBACK REQUIREMENTS RELATING TO EACH LOT TYPE
5. PLEASE REFER TO THE DCP AND/OR DESIGN GUIDELINES FOR SETBACK, SITE COVERAGE AND OTHER BUILDING CONTROLS.
6. A 1m ARTICULATION ZONE CAN BE PROVIDED WITHIN FRONT SETBACK.
7. FINAL BUSHFIRE REQUIREMENTS AND BAL RATING SHOULD BE DISCUSSED WITH THE BUILDER. COUNCIL DA MAY REQUIRE A LOT SPECIFIC BUSHFIRE REPORT TO BE PREPARED BY THE OWNER TO CONFIRM THE APPLICABLE BAL RATING FOR THE DWELLING.
8. COTTAGE LOT FENCING & MAILBOX IS INSTALLED BY HUNTLEE AS PER HUNTLEE DESIGN.
9. COUNTRY LOT OPEN STYLE FENCING EXTENDS BACK ALONG SIDE BOUNDARIES 6m TO JOIN 1.8m HIGH BOUNDARY FENCING BY HUNTLEE.



### SITE MAP

SD	DM	MM	BC	PD
✓	✓	✓	✓	✓

### LEGEND

- (APZ) ASSET PROTECTION ZONE (24m WIDE)
- (DI) EASEMENT FOR DRAINAGE OF WATER (15m WIDE)
- (P) PRIMARY FRONTAGE
- (CZ) CHARACTER ZONE
- NO VEHICULAR ACCESS
- ELECTRICAL, GAS AND NBN
- HOUSE SERVICE
- STREET LIGHT
- STORMWATER PITS
- WATER METER (DRINKING)
- WATER METER (RECYCLED)
- SEWER PIT
- PROPOSED RETAINING WALL

### BUSHFIRE RATINGS (BAL)

12.5	19	29	40	FZ
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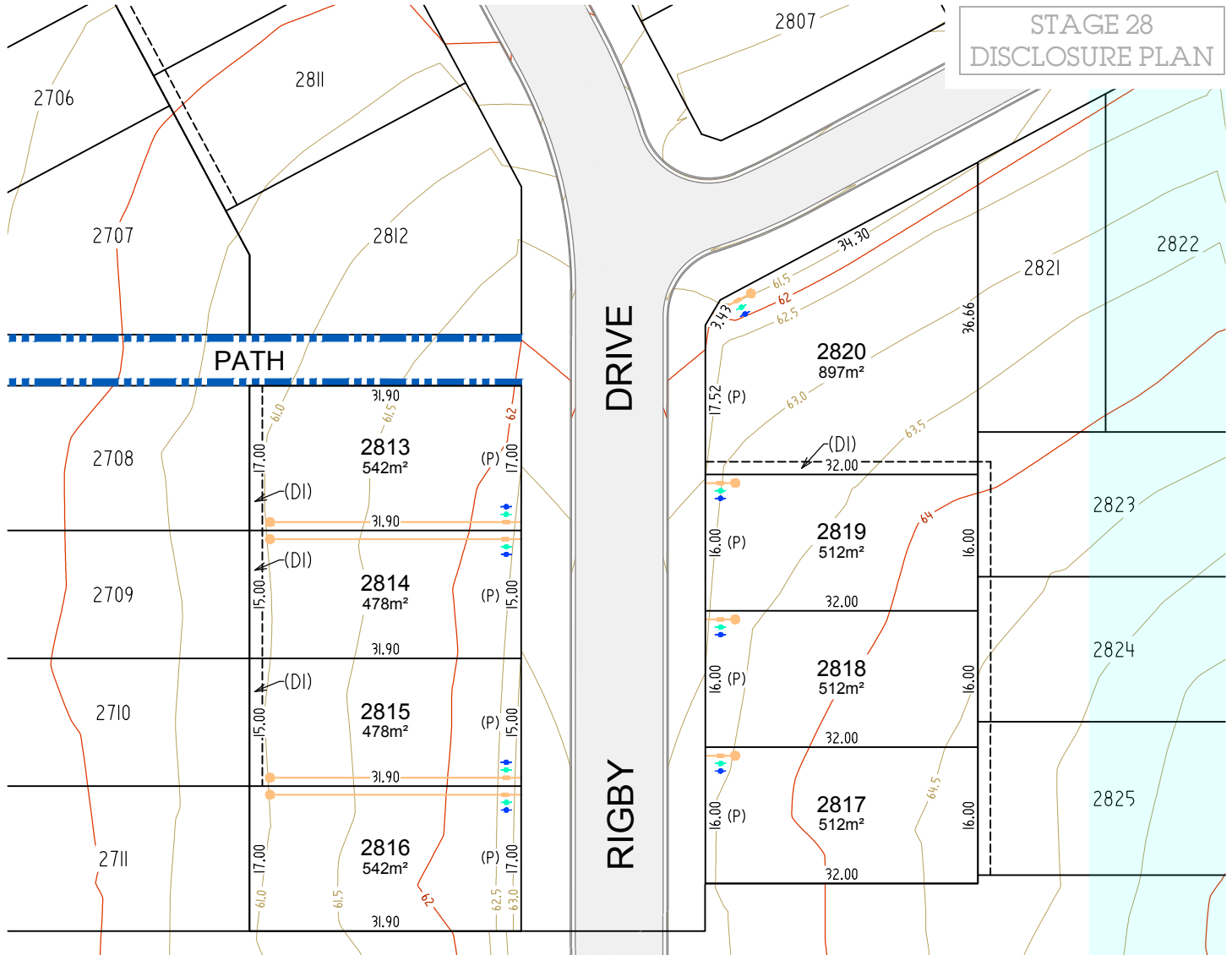
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# Huntlee

# KATHERINE'S Landing

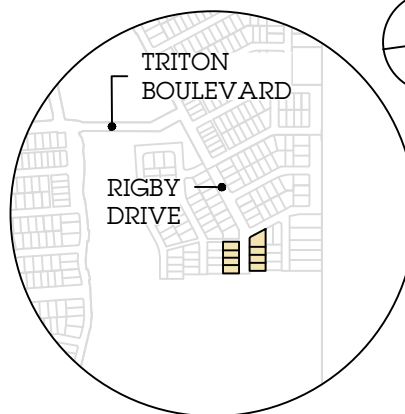
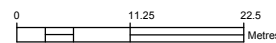
## STAGE 28 DISCLOSURE PLAN



### NOTES:

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- LEVELS AND SERVICE LOCATIONS SHOULD NOT BE RELIED UPON FOR DESIGN PURPOSES AND SHOULD BE CONFIRMED PRIOR TO HOUSE DESIGN.
- LOT TYPES ARE AS FOLLOWS:
 

3.1. COTTAGE LOT TYPE:	NOT ON THIS SHEET
3.2. SMALL TRADITIONAL LOT TYPE:	LOTS 2814-2815
3.3. TRADITIONAL LOT TYPE:	LOTS 2813, 2816-2819
3.4. LARGE TRADITIONAL LOT TYPE:	LOT 2820
3.5. COUNTRY LOT TYPE:	NOT ON THIS SHEET
3.6. MULTI-DWELLING LOT TYPE:	NOT ON THIS SHEET
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SITE MAP

SD	DM	MM	BC	PD
✓	✓	✓	✓	✓

### LEGEND

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- (CZ) CHARACTER ZONE
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- ELECTRICAL, GAS AND NBN
- HOUSE SERVICE
- STREET LIGHT
- STORMWATER PITS
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BUSHFIRE RATINGS (BAL)

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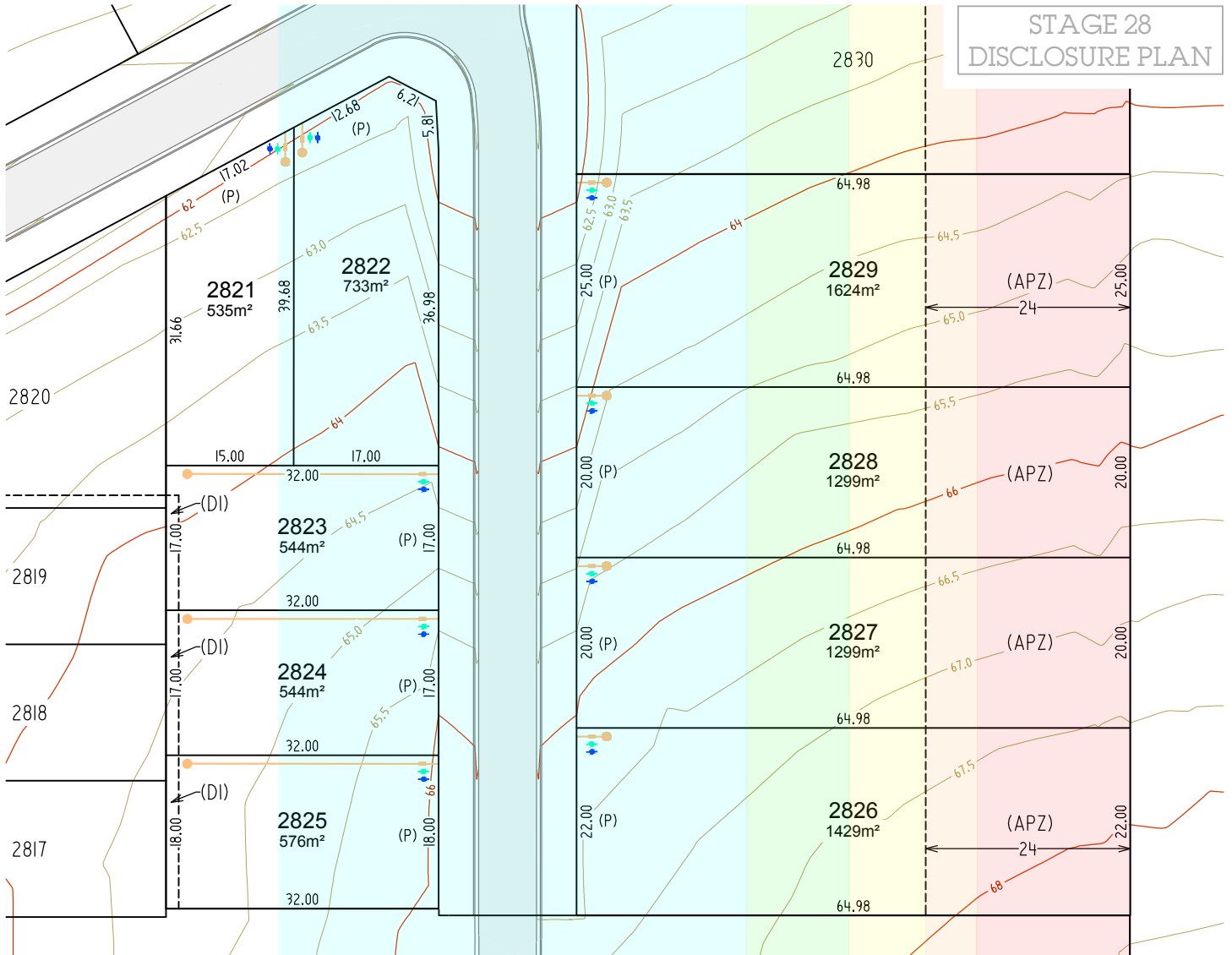
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# Huntlee

# KATHERINE'S Landing

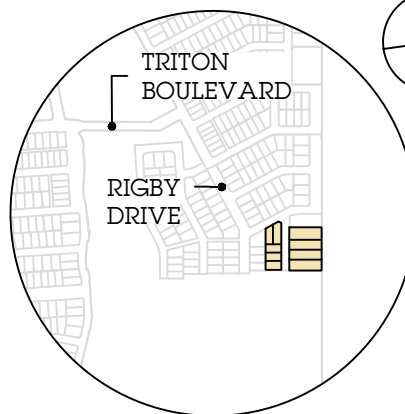
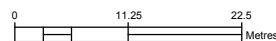
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3.2. SMALL TRADITIONAL LOT TYPE:	NOT ON THIS SHEET
3.3. TRADITIONAL LOT TYPE:	LOTS 2821, 2823-2825
3.4. LARGE TRADITIONAL LOT TYPE:	LOT 2822
3.5. COUNTRY LOT TYPE:	LOTS 2826-2829
3.6. MULTI-DWELLING LOT TYPE:	NOT ON THIS SHEET
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