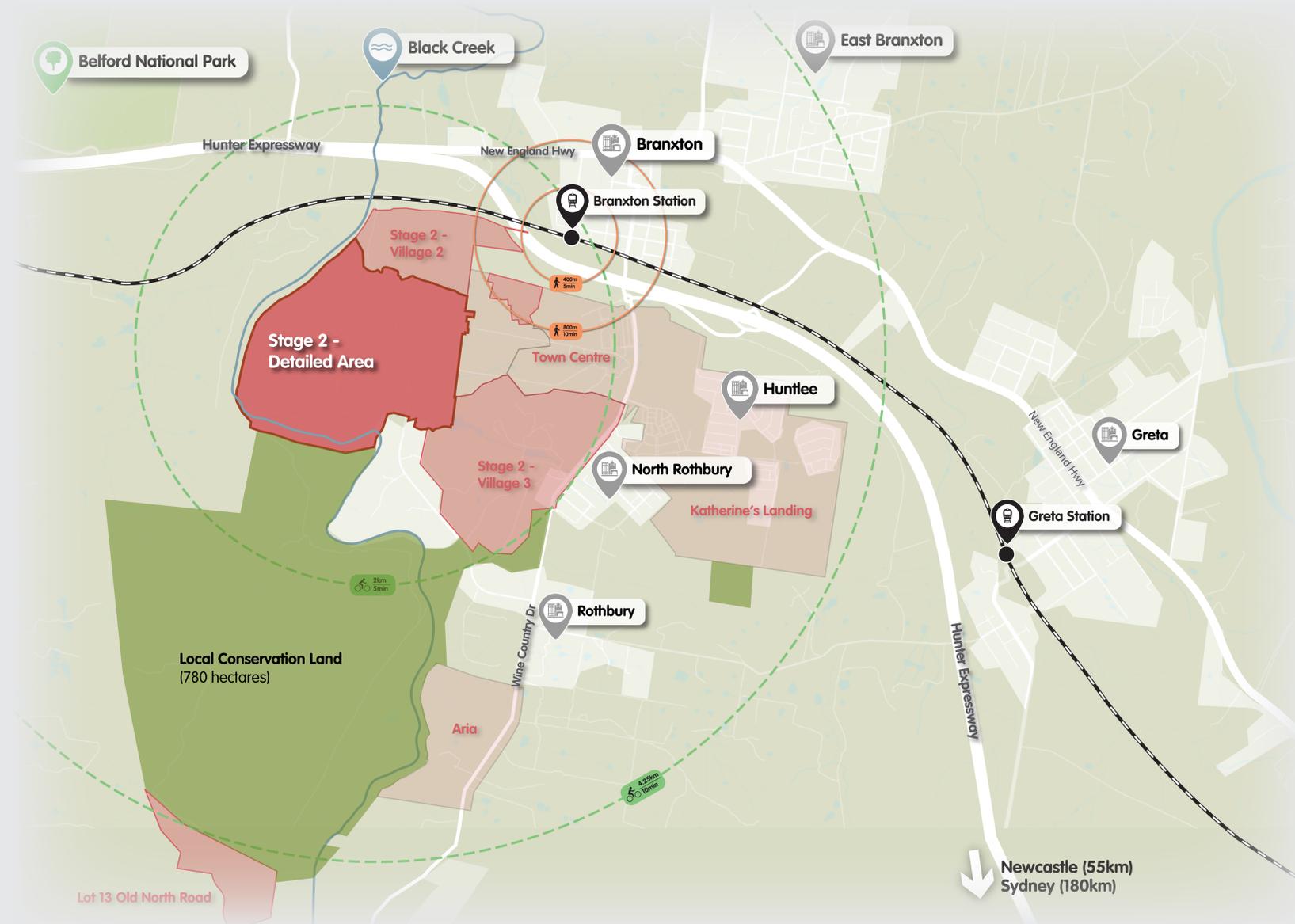


# Welcome

## to the Huntlee Stage 2 Drop-In Information Session

Huntlee

This event has been set up to provide the community with the latest information on the designs and planning process for Stage 2 of the Huntlee development. Huntlee is preparing to lodge a Development Application for the project and are eager to hear your feedback.



### The Huntlee vision

To create a vibrant new town that establishes its place as the heart of the Hunter, through innovation, excitement, and sustainability that will be brought to fruition over the next 20 years.

### What's being delivered for Stage 1?

Within Stage 1 of the Huntlee site, there is existing approval for:

- 2274 residential lots
- 123 large-lot residential lots
- Community, commercial, and mixed-use lots
- 2 lots for a primary school and high school
- Approximately 1,500 of the approved residential lots, as well as portions of the Town Centre have been completed to date.
- An offset area of local conservation land (780 hectares) has already been dedicated to the NSW National Parks and Wildlife Service within Huntlee, with a further 4,988 hectares of regional offset land elsewhere in the Lower Hunter Region. A further 17 hectares for Persoonia Park has also been set aside within the Huntlee land.

### What is proposed for Stage 2?

- Completion of the Town Centre
- Construction of Villages 2 and 3
- Subdivision to create approximately 5,000 lots
- New open space and landscaping of riparian corridors

### The project is guided by four pillars:

-  Being connected & healthy
-  Enhancing the natural environment
-  Creating local employment opportunities
-  The best in contemporary living

# What we heard



In August/September 2023, we carried out an online survey to seek early feedback from the community about key aspects of the Stage 2 proposal. It was distributed to over 1,600 local residents via postcard, posted on our website and social media pages, and was emailed to over 540 members of our database. The feedback included:



Green and open spaces are highly valued by the local community, and contribute to the lifestyle and natural environment that people like about living in the Hunter region.



There is a need for additional infrastructure such as schools, emergency services, medical centres, sporting facilities, community services, and shops.



Sustainability and protection of the local ecology and environment is important to those who live in the area. There is desire to enhance and protect features such as creeks, parks and bushland.



There are concerns relating to increased traffic, the changing character of the local area and the scale of new residential development.

The findings of these engagement activities, as well as the feedback collected through this session, will assist in shaping the detailed design of Huntlee Stage 2.

## You said...

There is a lack of public transport services and routes in the area

You want more social infrastructure, particularly schools

That increased traffic generated from the development is cause for concern

You love the sense of local community and people that live here

You would like to see Huntlee's natural features and waterways enhanced for public enjoyment

## We will...

Ensure that streets are suitable for local bus services, and consult with TfNSW facilitate new routes through the Stage 2 area

Provide adequate land and continue to work with State Government on delivering the proposed schools in Huntlee

Provide new upgrades to roads, and employ traffic management techniques during construction

Continue to deliver new spaces for community events and gathering, such as playgrounds and a variety of other open space areas

Protect the natural features of Huntlee, particularly Black Creek and its tributaries, with new plantings, pathways and access to waterways where appropriate

# Masterplan overview

Huntlee



## LEGEND

- Stage 2
- - Stage 2 Detailed Area
- ① Local Centre
- ② Neighbourhood Park
- ③ Regional Active Recreation
- ④ Huntlee Academy
- ⑤ Riparian Corridor
- ⑥ Stormwater Detention Basin
- ⑦ Black Creek
- ⑧ Community Event Space



## Neighbourhood structure

The Huntlee Masterplan proposes a walkable structure based on a maximum 5-minute walk/400m radius to open space areas.



## Neighbourhood centres

Neighbourhoods have been designed so that each has a distinct centre – a park or local centre - which functions as a focal point for the community.



## Responding to site

Huntlee is characterised by undulating natural terrain comprised of prominent ridge and gully lines which connect to Black Creek. The masterplan is designed around utilising the natural corridors through the existing terrain to ensure the built environment works with - and not against - the natural features of Huntlee.



## Street orientation

Streets have been orientated to maximise access and shared use by vehicles, pedestrians and cyclists. The majority of streets will lead to parks, recreation areas, natural green corridors or a local centre.

*\* Please note: these images are examples only and do not reflect the final design.*

# Lots and homes

Huntlee



The Stage 2 lot layout will facilitate a variety of housing types to support a diverse future community with a range of family compositions and cultural backgrounds.

The scale, strategic location and varied topography of Huntlee presents an opportunity to deliver a range of housing types for higher density living in more urban and central neighbourhood locations, to larger lifestyle lots in areas of steeper terrain and next to natural landforms.

The masterplan depicts how the lots have been designed to encourage a higher proportion of terraces and town houses clustered around areas of amenity and activation, helping to provide much needed dwelling diversity for the broader area as well as to meet changing household compositions.



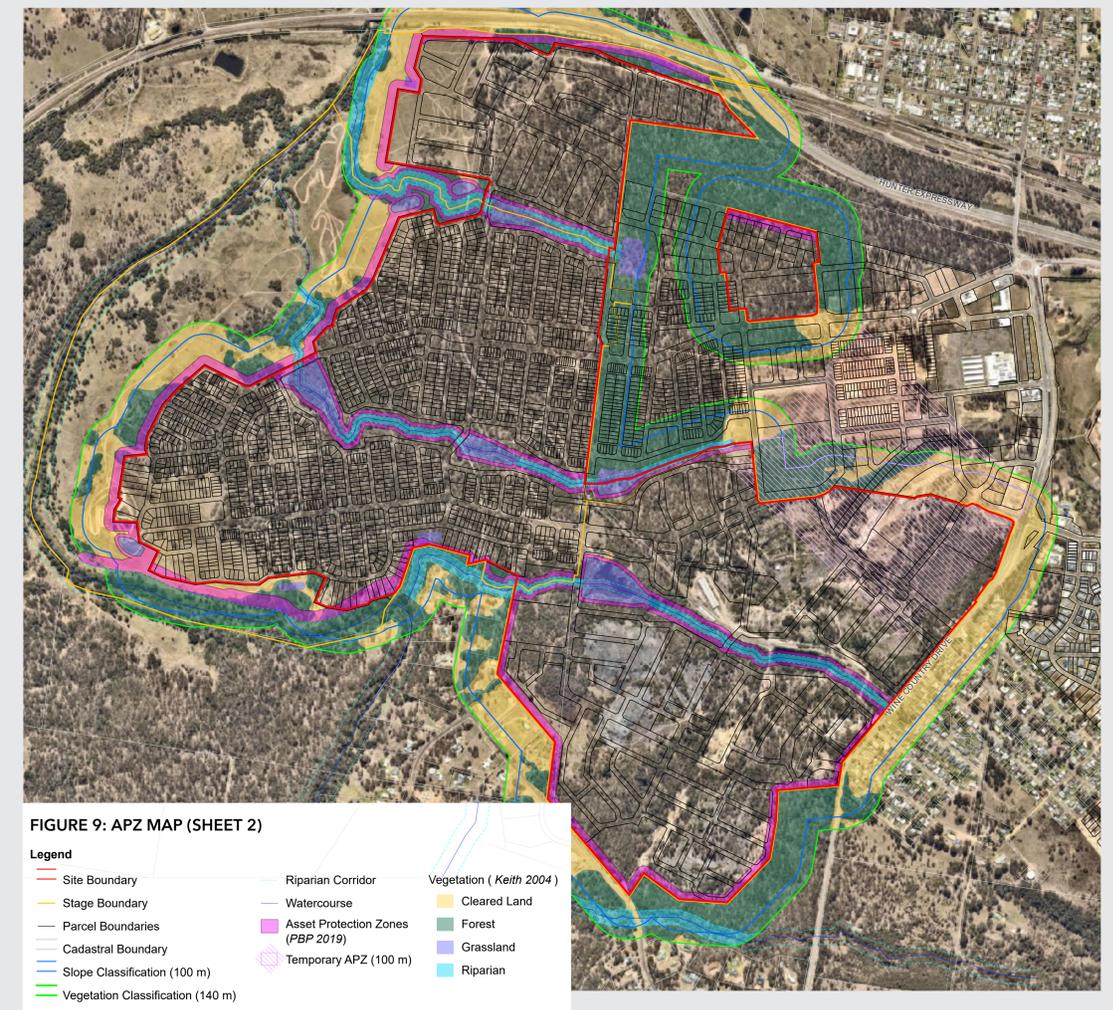
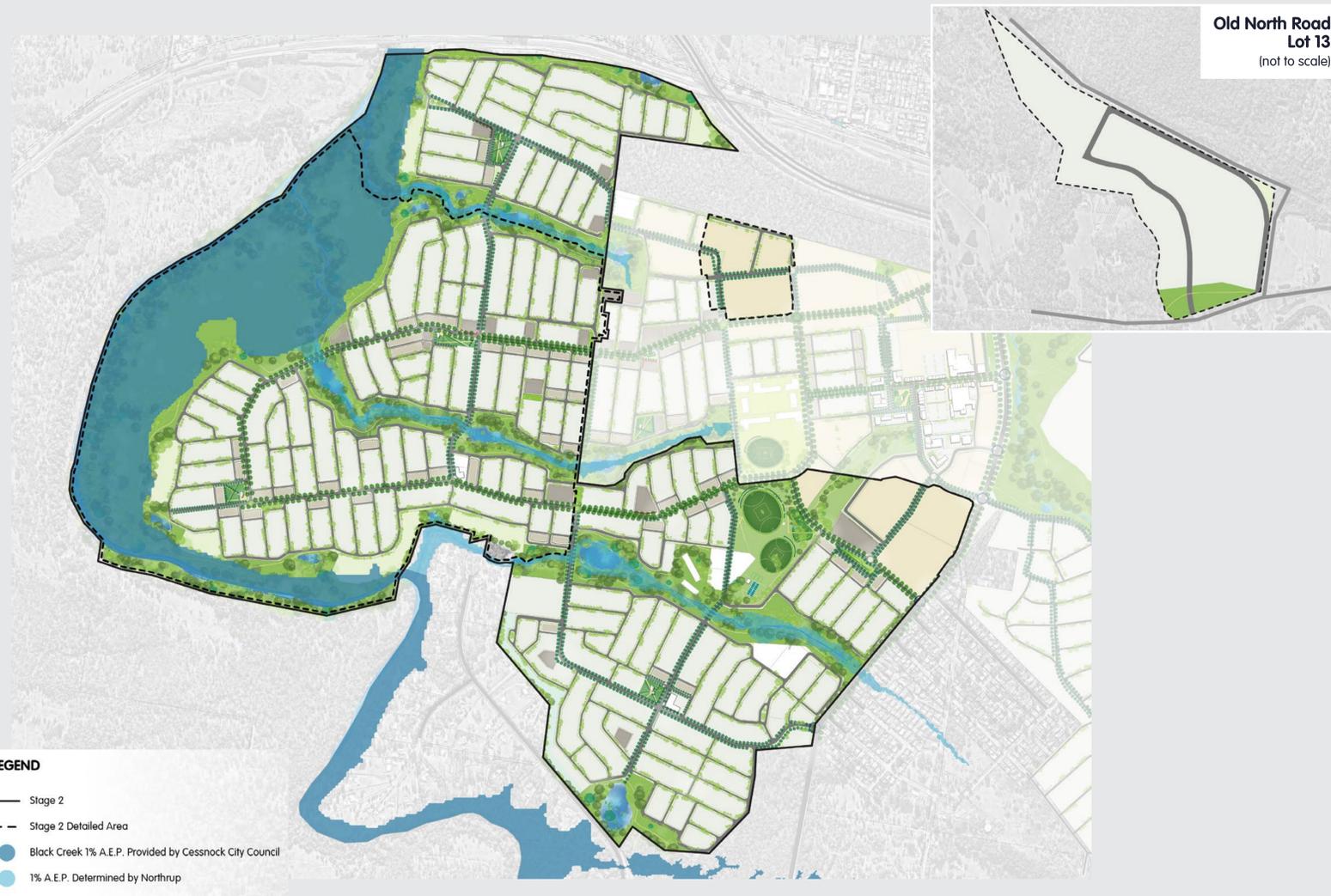
# Environmental management and resilience

## Flooding

- The Masterplan has been designed to ensure there are no adverse flooding impacts on existing and future residents.
- All proposed lots are positioned at or above the Flood Planning Level.
- Key access routes to and throughout the Stage 2 area will be flood free during the 1 in 100 flood event, allowing access throughout and to and from the estate in an emergency situation.
- The development will not result in any changes to flood levels or impacts up or downstream of the subject Site.

## Bushfire

- The Masterplan has been designed in accordance with NSW Rural Fire Service's Planning for Bush Fire Protection 2019, which provides development standards for designing and building on bush fire prone land in New South Wales.
- A range of different Asset Protection Zones (APZs) are proposed surrounding the Masterplan and throughout the estate where lots are proposed near vegetation, to provide a defensible space between the bushfire risk and any future development.
- The width of the APZ has been determined by a Bushfire Consultant, and depends on the slope of the land, vegetation type and amount of vegetation or fuel located in the vicinity of the site. The NSW RFS will be consulted on the adequacy of the APZs during the assessment period.
- The site is proposed to have multiple entry and exit routes that connect to Wine Country Drive, as well as perimeter roads around the development site to ensure that RFS vehicles can access and move around the majority of the site during an emergency.

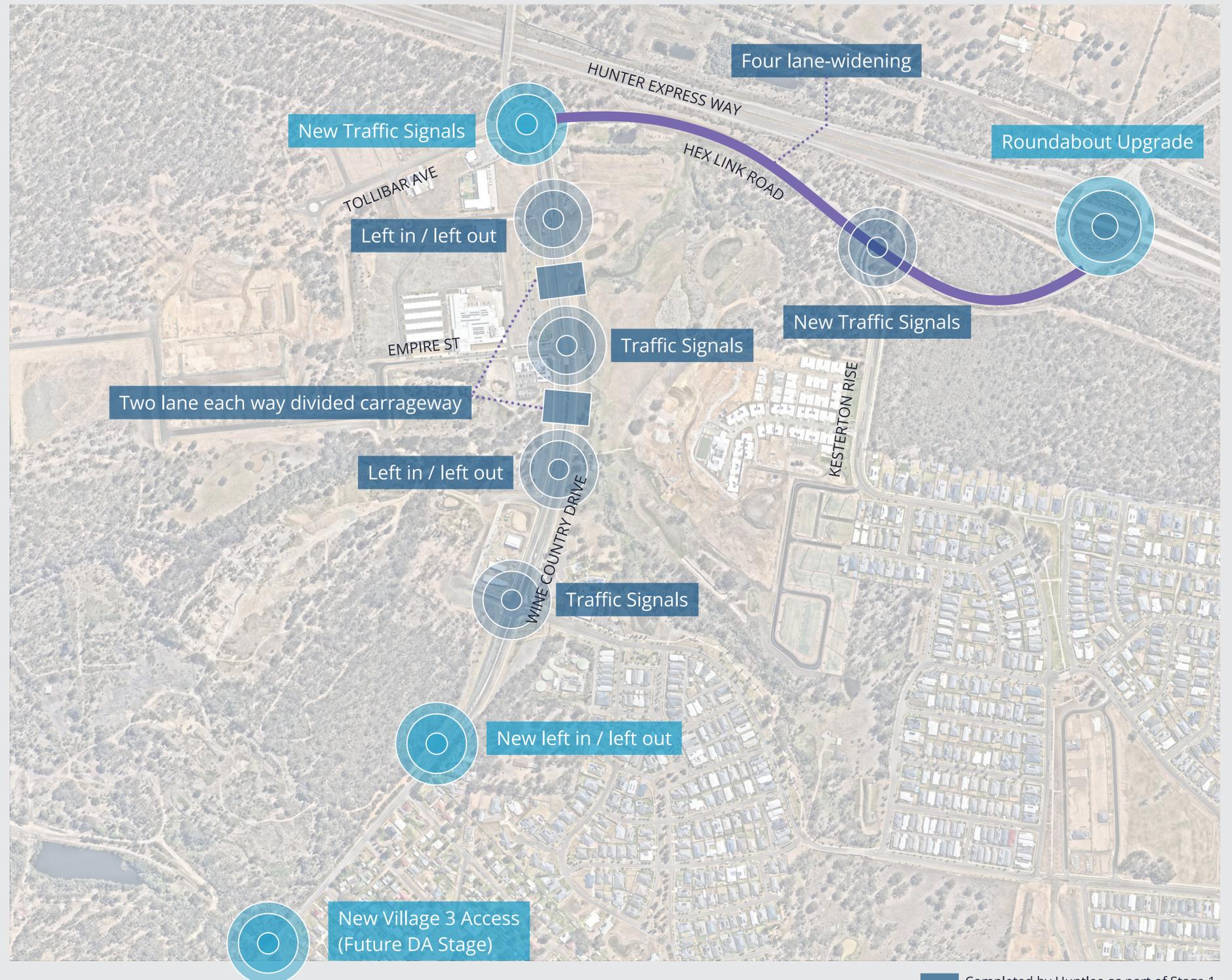


# Traffic and transport

A Traffic and Transport Assessment is being prepared to support the Huntlee Stage 2 development. The Assessment will consider the existing and future expected levels of service at key intersections in the area, and provide recommendations for any upgrades and/or new intersections required.

A number of road upgrades are likely to be proposed as part of Huntlee Stage 2, including:

- New traffic signals replacing the existing roundabout at Wine Country Drive/ Bridge Street/ Tollbar Avenue
- Upgrades to Hex Branxton interchange to include a continuous left turn slip lane to northbound on-ramp, additional right turn lane to southbound on-ramp, widening of the roundabout, and additional exit lane on southbound on-ramp
- New left-in/left-out intersection on Wine Country Drive.



# Impact management responses

Huntlee

We understand that local residents have concerns about potential impacts that may occur during development. In order to reduce disruption for surrounding residents we have proposed a number of measures:



## Air quality

- All construction areas will have water carts present during working hours to minimise dust during construction. On windy days, the presence of water carts will be increased.
- Completed areas will be seeded or sprayed with dust control agents to minimise ongoing dust issues.



## Noise and vibration

- Hours of work have been proposed as to minimise construction noise during periods of rest. Hours of work will be restricted to:
  - Weekdays 7:00-18:00
  - Saturdays 8:00-15:00
  - No work on Sundays or public holidays



## Traffic

- Traffic control plans will be put in place to minimise construction traffic impacts to adjoining residents.
- Construction access will be kept to main roads where possible.
- Fencing and signage will be put in place to ensure pedestrians and traffic are made aware of any changes to pedestrian/traffic routes and any required detours.



## Issues management

- The Contractor will have a community contact plan in place which will ensure the community are able to contact the Contractor with any comments or concerns.
- This plan will include contact details and a complaints handling process which will establish how complaints are received, recorded and responded to.



## Crime and safety

Issues related to crime and safety were raised during community engagement activities. In order to address this concern, Crime Prevention Through Environmental Design (CPTED) principles have been considered through the design of the masterplan, particularly around open spaces. Some of these measures include:

- Public spaces fronted by thoroughfares and located adjacent to main pedestrian networks which lead to destination points throughout the neighbourhood
- Clearly defining private/public property boundaries and reinforcing these through visual cues
- Selection of robust and durable materials and appropriate design detailing to make it as difficult as possible to damage, steal or vandalise property
- Where public spaces are overlooked by private development, built form and landscape responses will be designed to ensure adequate passive surveillance of adjacent public areas

# Landscaping and biodiversity

Huntlee

## Conservation offsets

As part of Huntlee Stage 1, there have been several conservation offset areas established, to cover the offsets for the entire Huntlee development (both Stage 1 and the proposed Stage 2):

- Local (within Huntlee): 780 hectares, already dedicated to NSW National Parks and Wildlife Service.

- Persoonia Park: 17 hectares, dedicated to protect the *Persoonia pauciflora* species adjacent to the Huntlee Stage 1 area.
- Regional (elsewhere within the Lower Hunter Region): 4,988 hectares of conservation land.

## Active recreation

Larger open space will be provided for active recreation and social activity. It will include playing fields, multipurpose courts and associated club facilities, playgrounds, and larger kick-about spaces.

The landscape will consist of paved paths and trails, some open lawn areas, shade trees, open shelters, exercise pods and resting areas.



## Environmental protection

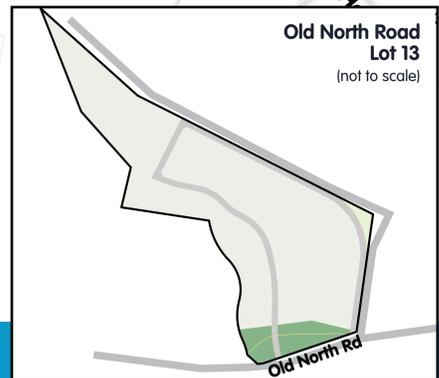
Huntlee contains a number of important riparian corridors throughout the site area. We plan to carry out the following measures:

- Remove all non-indigenous vegetation
- Where possible retain all existing riparian vegetation
- Enhance riparian vegetation to consist of a fully structured vegetation corridor, including ground cover, shrubs and trees
- Remove all existing fence and road crossings from riparian zones, reconstructing road crossings in accordance with the relevant state guidelines
- Reconstruct and stabilise sections of the watercourse which are significantly eroded
- Incorporate shared use and walking trails where appropriate to provide controlled access and avoid encroachment of the natural environment



**LEGEND**

- Stage 2
- Active Recreation
- Greenways (Riparian Corridors)
- Neighbourhood Park
- Pocket Park
- Proposed Detention Basin
- Connecting Collector and Avenue Streets



## Stormwater management

The development's impact on stormwater quality is to be mitigated through source and end of the line treatment controls to reach pollutant load reduction targets.

Regional detention basins will be provided to manage stormwater quality via attenuation of post-developed flows to pre-developed rates.

## Passive open spaces

Passive open spaces are defined as Neighbourhood and Pocket Parks. Huntlee will have neighbourhood parks as focal points at the intersection of key thoroughfares, while pocket parks are smaller, intimate spaces.

Landscaping will typically consist of paths, lawns, groundcovers and trees in more formal arrangement. Pocket parks may be used as gardens and designed to retain natural



# Infrastructure and amenities

Huntlee

Huntlee Stage 2 will feature a range of social infrastructure and amenities in order to support its growing community.



## Open space & recreation

Across Huntlee Stage 2 there will be:

- neighbourhood parks
- pocket parks
- playing fields
- sports courts

Residents of Huntlee will live within 400-800m of public open space and playgrounds



## Education

- As part of the Stage 1 development a school site has been created and dedicated to Schools Infrastructure.
- Schools Infrastructure will manage the delivery of the sites.



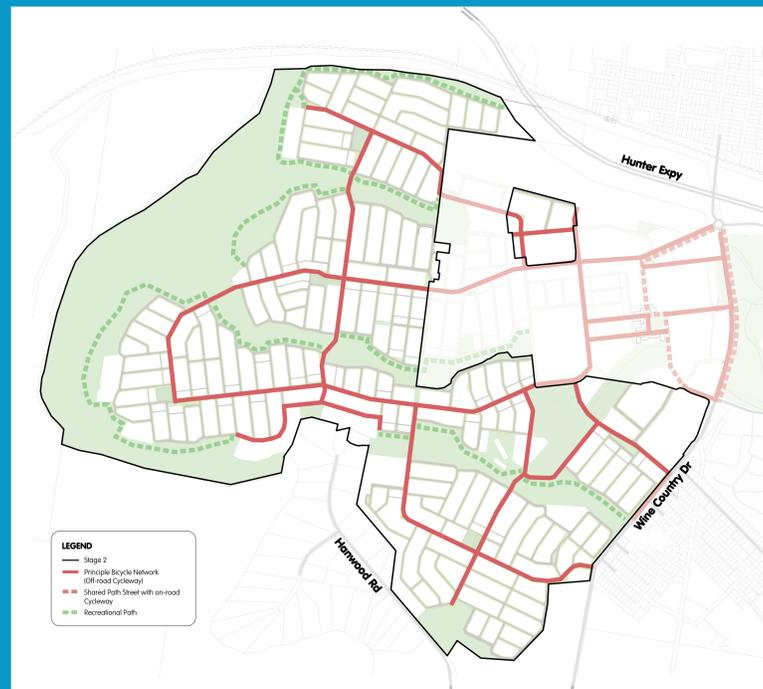
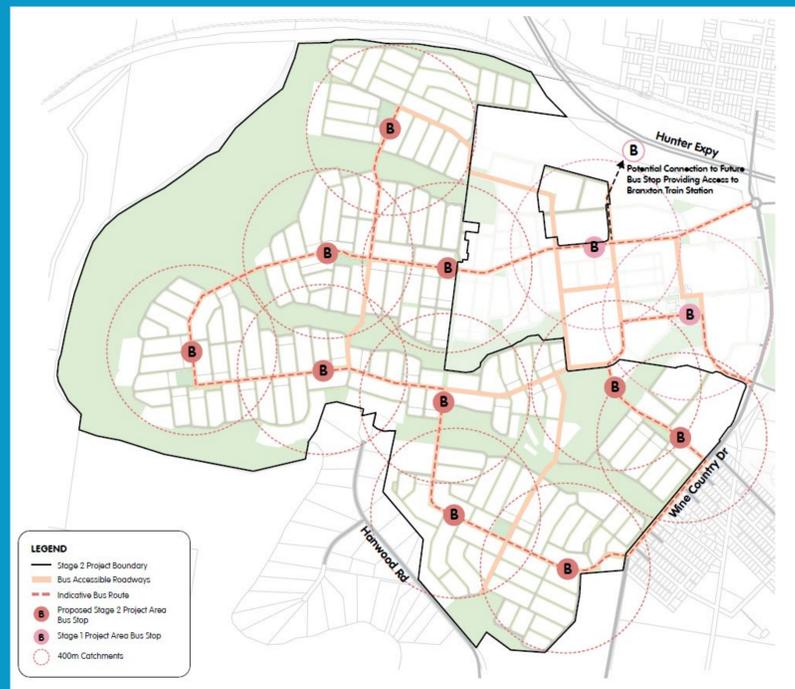
## Public & active transport

- The Masterplan includes a network of pedestrian and cyclist routes which connect to key destinations and places of interest. These will form 'shared paths' along widened verges to encourage residents to walk and cycle.
- Streets have been designed to accommodate local bus services, and we are currently in discussion with Transport for NSW to expand services in Huntlee.



## Retail, food & beverage

- Huntlee will bring new and diverse shopping and dining options to the local community. The Main Street will provide a vibrant, animated strip for cafes, restaurants and shops as part of Stage 1, supported by the proposed Stage 2 residential areas.



## Community benefit

- More than \$1.5 billion of investment will go into Huntlee, generating thousands of jobs, infrastructure, and public & private investment, while achieving positive economic, environmental, and social outcomes.
- The early provision of the 70ha Town Centre has already generated local employment opportunities, and this will only grow over the next 10 -15 years. The Huntlee project will create approximately 2,800 direct and indirect jobs during construction and contribute more than \$230 million in retail expenditure each year once fully developed. Future residents of Stage 2 will have access to the facilities & services in the town centre including the local employment.
- The Huntlee Academy was established which allowed for the creation of local jobs & training to help implement on site works and it is proposed to provide a permanent 'home' within the Stage 2 area for this important training facility.

# Next steps

Huntlee

## Tell us what you think

- Following consultation we will review and consider how your feedback can help inform final designs for Huntlee.

## Lodgement

- Huntlee will finalise the State Significant Development Application (SSDA) and lodge the application with the NSW Department of Planning and Environment (DPE).

## Public Exhibition

- Members of the public can provide further comments on the project when it is placed on public exhibition which is expected to occur in early 2024.

## Assessment

- DPE will then assess the proposal and a decision will be made by the Minister for Planning and Homes.



## Get involved

We would love to hear your thoughts and we're here to answer any questions you may have.

You will also have the opportunity to have your say by providing a submission to the Department of Planning and Environment during the public exhibition period in the coming months.

Get in touch

Visit our project website at <https://huntlee.com.au>

Call 1800 870 549

Email: [consultation@ethosurban.com](mailto:consultation@ethosurban.com)



WE ARE HERE

COMPLETED



Early design planning

August – November 2023



Community consultation

End 2023



Lodgement of SSDA

Anticipated early 2024



Public Exhibition of SSDA by the DPE

Through 2024



Assessment by DPE and determination by the Minister for Planning and Homes